

Application form

Heritage

Removal of a place from the Queensland Heritage Register

Use this form to make an application to have all or part of a State Heritage Place considered for removal from the Queensland Heritage Register under the Queensland Heritage Act 1992.

Before completing this application form:

- read the *Application Guide: Removing a State Heritage Place from the Queensland Heritage Register* available at www.qld.gov.au/environment/land/heritage/
- call 13 QGOV (13 74 68) and discuss this application with the Applications Co-ordinator, Heritage Branch

1. Applicant details

APPLICANT NAME/S [REDACTED]		TITLE [REDACTED]
ORGANISATION NAME (if applicable) [REDACTED]		
POSTAL ADDRESS [REDACTED] [REDACTED] [REDACTED]		POSTCODE [REDACTED]
EMAIL ADDRESS [REDACTED]		
TELEPHONE (business hours)	MOBILE [REDACTED]	
TELEPHONE (after hours)	EMAIL	

2. Applicant consent

Ticking YES in the box below means you give consent to the department to publicly disclose your name with this application. At no time (whether you tick YES or NO) will your personal contact details be made public during processing and assessment of this application. The department removes contact details (i.e. address, email and telephone numbers) from all copies of the application except those provided to the Queensland Heritage Council.

Applicant consents to personal information being released	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
APPLICANT'S SIGNATURE	[REDACTED]	

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PRINT APPLICANT'S NAME 	DATE SIGNED 11/04/2024
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HHQ/2022/5998

Version: 1.00

Last reviewed: 31 May 2022

ABN 46 640 294 485

3. Place details

NAME OF PLACE AND / OR QUEENSLAND HERITAGE REGISTER PLACE ID NUMBER Henlein & Co Building (600907)	
STREET ADDRESS 408-410 Flinders Street Townsville City QLD 4810	
LOT/S ON PLAN/S 33	LOCAL GOVERNMENT AREA/S Townsville
GPS COORDINATES (if known)	

4. Consultation with the owner of the place

Do you own the place that is the subject of this application? Yes No

If you are not the owner of this place, have you consulted with the owner? Yes No

5. History of the place

<p>HISTORICAL SUMMARY</p> <p><i>Using the history provided in the Queensland Heritage Register entry as a starting point add detail that supports your removal application</i></p> <p>The following is a summary of all mentions of the history of the building that we could find.</p> <p>1919- 2 storey wooden building. Henlein and Co (Ref 1)</p> <p>-1938 ES & A Bank (Ref 2)</p> <p>1938 Occupied by Carfoots (Ref 2)</p> <p>02/03/1938 Carfoots look to expand- 5500sqft show room and cantilever awnings (Ref 2).</p> <p>Opening of newly refurbished Carfoots 14/12/1938 (Ref 3)</p> <p>1954-, Bought by Carfoots. 2 storey brick building. 33ft Flinders St frontage, depth of 165ft to Ogden St. Includes a basement. (Ref 4)</p> <p>1960- Plans drawn up for extension of back half of building- shows existing building and proposed extensions. (See attachment 8). It demonstrates that the entire back half of the building was constructed Circa 1961.</p>

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REFERENCE LIST

1. "Fire at Townsville" newspaper article (31/03/1919) (see attachment 1)
2. *Carfoots' Pty Ltd* Townsville Daily Bulletin 02/03/1938
<https://trove.nla.gov.au/newspaper/article/62281113?searchTerm=carfoots%20pty%20ltd#> (see attachment 2 and 3)
3. *Carfoot's New Premises* Townsville Daily Bulletin 14/12/1938
<https://trove.nla.gov.au/newspaper/article/62207168?searchTerm=carfoots%20pty%20ltd#> (see attachment 4 and 5)
4. *Big Townsville Property Sales* Courier-Mail Brisbane 03/02/1954
<https://trove.nla.gov.au/newspaper/article/50571277?searchTerm=carfoots%20pty%20ltd#> (see attachment 6 and 7)

LIST OF ATTACHMENTS

1. "Fire at Townsville"
2. Attachment 2 02 Mar 1938 - CARFOOTS' PTY. LTD_ Text
3. Attachment 3 Townsville Daily Bulletin (Qld. _ 1907 - 1954), Wednesday 2 March 1938, page 3 image
4. Attachment 4 14 Dec 1938 - CARFOOT'S NEW PREMISES_ text
5. Attachment 5 Townsville Daily Bulletin (Qld. _ 1907 - 1954), Wednesday 14 December 1938, page 11 image
6. Attachment 6 03 Feb 1954 - The state of Queensland AS REPORTED TO BRISBANE text
7. Attachment 7 Courier-Mail (Brisbane, Qld. _ 1933 - 1954), Wednesday 3 February 1954, page 8 image
8. Attachment 8 1977-03-23 CERTIFICATE OF CLASSIFICATION

6. Description of the place

WRITTEN DESCRIPTION

Using the description provided in the Queensland Heritage Register entry as a starting point add detail that supports your removal application

"This two storey commercial building with a basement was built during the Federation period with load-bearing brick external walls and timber internal columns. The Flinders Street facade was dressed with cement and decorated with arched windows, pilasters, string courses, pediments and cornices. The building was surrounded by a decorative slit parapet on all external walls. The centrally placed entrance was emphasised by an arched opening. Modern aluminium windows and a cantilevered awning are now dominant features of the lower level facade." All of these features are a part of the original building.

Our proposed application relates only to the rear of the building, which was built after 1961.

The rear of the building does not incorporate any of the listed features that are included in the criterion for the listing of this building in the register (specifically –*"the use of traditional materials in a different together with some conventional decorative motifs"*), it was also described as *"a two storey commercial building with a basement was built during the Federation period with load-bearing brick external walls and timber internal columns. The Flinders Street facade was dressed with cement and decorated with arched windows, pilasters, string courses, pediments and*

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cornices. The building was surrounded by a decorative slit parapet on all external walls. The centrally placed entrance was emphasised by an arched opening.” This second description relates to the front part of the building (the original building), and not to the rear of the building which was added after 1961.

The rear of the building is poured concrete columns and floors, with concrete masonry block building fabric, with no characteristic motifs or decorations of historical value. The extension of the original building now includes a second level (ie four levels in total- basement, ground, level 1 and level 2). Clearly this second level is also not part of the original building.

7. Statement of cultural heritage significance

Explain why the place (or part of it) does not fulfil the significance criteria listed in its entry in the Queensland Heritage Register. Write ‘not applicable’ against the criteria that are not relevant to your application.

<p>CRITERION A the place is important in demonstrating the evolution or pattern of Queensland’s history</p>	<p><i>“Henlein & Co, a commercial building of the Federation era, was a simply designed structure which incorporated the use of traditional materials in a different together with some conventional decorative motifs. The Railway Station and the Customs House, are other local buildings which exhibit some of these features. However, few examples of privately owned commercial buildings of this type are left in the city.</i></p> <p><i>While the the Henlein building has lost much of its distinctive decoration, it contributes significantly and attractively to the streetscape, together with the nearby Australian Mutual Provident Society Building.”</i></p> <p>Whilst the Henlein & Co building, as it was originally constructed maintains its heritage significance, the addition/extension at the rear of the building was constructed after 1961 (ie in more modern times) in a manner that was not consistent with features of the original building (which was built in federation times). The rear extension therefore does not have heritage significance. It does not demonstrate the evolution or pattern of Queensland’s history. The entire back half of the building is constructed using modern concrete construction techniques, with no historical value.</p>
<p>CRITERION B the place demonstrates rare, uncommon or endangered aspects of Queensland’s cultural heritage</p>	<p>The rear extension of the building was not built in a manner consistent to the original, federation era building. The rear extension does not demonstrate rare, uncommon or endangered aspects of Queensland’s cultural heritage. It was built with poured concrete columns, floors and concrete block.</p>
<p>CRITERION C the place has potential to yield information that will contribute to an understanding of Queensland’s history</p>	<p>The rear extension of the building was built in more modern times (~1961). It was non-existent in the federation era and therefore has no potential of yielding information that will contribute to an understanding of Queensland’s history.</p>
<p>CRITERION D the place is important in demonstrating the principal characteristics of a particular class of cultural places</p>	<p>The rear extension of the building was built in more modern times (post 1961). It was non-existent in the federation era and was not built in a manner consistent with the original building. The rear extension does not demonstrate principal characteristics of a particular class of cultural places.</p>

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<p>CRITERION E the place is important because of its aesthetic significance</p>	<p>Whilst the front of the building is part of the original building and has aesthetic importance, the rear of the building (of which we are applying for partial removal from the heritage listing) has no aesthetic significance. There are no decorative motives, historically significant building materials or methods used in the rear extension.</p>
<p>CRITERION F the place is important in demonstrating a high degree of creative or technical achievement at a particular period</p>	<p>The rear extension of the building is built using simple building methods and concrete block. It does not demonstrate a high degree of creative or technical achievement for any period.</p>
<p>CRITERION G the place has a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons</p>	<p>The place does not have a strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. Criterion G is not listed on the register as part of the original submission.</p>
<p>CRITERION H the place has a special association with the life or work of a particular person, group or organisation of importance in Queensland's history</p>	<p>The rear extension of the building does not have a connection with the life or work of a particular person, group or organisation in Queensland's history. It was built for office spaces. The significant retail section was part of the original building only.</p>

8. Site plan showing area of current boundary proposed for removal

Attach a site plan to this form. Any plan/s and map/s in the register entry for the place can be used as base drawings. Tick to confirm:

- the site plan is drawn or sketched to scale
- all key elements of the place are shown and clearly labelled in their approximate locations (particularly those elements identified in the register entry)
- the existing heritage boundary is shown, along with the area proposed for removal (all or part)
- the cadastral (lot on plan) boundaries of the place are shown

9. Photographs

Attach photographs to this application that show the place in its current state. Number all photographs and complete the index table below adding more rows if needed.

If submitting an electronic application, submit the photographs in a digital file attached with the application form. Maximum file size for digital images attached to this form is 250kb each.

If submitting an application in hard copy, submit the photographs as an electronic file saved onto a CD or USB and attach one hardcopy print out of images to this application form.

DATE AND TIME TAKEN	PHOTOGRAPHER
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COPYRIGHT PERMISSIONS		
By law copyright of material submitted is subject to conditions set out in the copyright licence for that material.		
Please enter licensing details in the metadata for each image/file requiring copyright.		
A copyright licence may be obtained free of charge from Creative Commons at www.creativecommons.org . Creative Commons licence 'Creative Commons Attribution-Non-Commercial-No Derivative Works' is recommended. This licence maintains author copyright but allows others to copy and distribute work provided the author is given credit (in a way specified by the author) and the work is not changed in any way and is not used commercially.		
IMAGE NUMBER	FILE NAME	DESCRIPTION
1	Photo 1 Back	Photo of back of building from Ogden St
2	Photo 2 Side	Photo showing side of building where it transitions from new (Ogden St side) to old (original building- Flinders St)
3	Photo 3 Kitchen	Photo showing kitchen
4	Photo 4 Hallway showing transition	Photo showing the hallway which shows the transition from the original building (wooden floor) to the extension (concrete) that was added after 1961
5	Photo 5 Photo Showing transition	Photo showing where the original building ends (end of brick wall), and the later extension was added.
6	Photo 6 Fire Stair Well	Photo showing the fire exit in the rear of the building
7	Photo 7 Back door from inside	Photo showing the brickwork in the rear of the building around the backdoor.
8	3D images 1901 vs 1960	Excerpts from Google maps 3D annotated to show the clear transition from heritage section to modern concrete construction.
9	Photo 9 – NE Corner	NE corner with outline of rear half of building being requested to be removed from register.

10. Lodgement

All sections of this form must be completed and attachments prepared (in particular the site plan showing the proposed heritage boundary and photographs of the place) before an application is lodged. Incomplete applications cannot be accepted.

Send one copy of the completed form and attachments to:

Email:
heritage@des.qld.gov.au

OR

Post:
Applications Coordinator

Removal of a place from the Queensland Heritage Register

Heritage Branch
Arts and Heritage
Department of Environment and Science
GPO Box 2454
Brisbane Qld 4001

Further information

- email heritage@des.qld.gov.au
- call 13 QGOV (13 74 68) and ask to speak to the Applications Coordinator, Heritage Branch
- visit www.qld.gov.au/environment/land/heritage/

Henlein & Co

Proposed heritage boundary

19°15'40"S 146°48'57"E

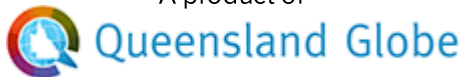
19°15'40"S 146°48'59"E



19°15'42"S 146°48'57"E

19°15'42"S 146°48'59"E

A product of



Legend

- proposed heritage register boundary
- area proposed for removal



0 10 metres

Scale: 1:368

Printed at: A4

Print date: 9/4/2024

Not suitable for accurate measurement.
Projection: Web Mercator EPSG 102100 (3857)

For more information, visit
<https://qldglobe.information.qld.gov.au/help-info/Contact-us.html>

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FIRE AT TOWNSVILLE.

Old Premises Destroyed.

TOWNSVILLE, Mar. 31.

Between 2 and 3 o'clock this morning, fire demolished an old two-storey wooden building situate on the south-eastern corner of Flinders and Stanley streets, opposite Lowth's Hotel. It appears the outbreak occurred in a soft drinks shop at the corner of the building, and spreading rapidly, soon enveloped the structure. The Fire Brigade devoted their attention to saving the premises of Hawton, coachbuilder, and Henlein & Co., general merchants, and in that they succeeded.

The soft drinks shop was insured for £600, an eating house for £300, and a Chinaman's fruit shop for £50. The building was owned by Mr. J. W. Ward, of Charters Towers.

Townsville Daily Bulletin (Qld. : 1907 - 1954), Wednesday 2 March 1938, page 3

CARFOOTS' PTY. LTD.

Carfoots Pty. Limited, originator of Masterpiece furniture, have decided to expand their city show space and the firm will shortly move from Stokes-street to more commodious premises in the bulldne now occupied

by the E.S. and A. Bank Limited, in Flinders-street, two doors from the new A.M.P. building. Plans have on two floors with basement accommodation, and a factory adfunct at the rear. Carfoots entered the retail furniture trade at Townsville in 1934. after building up a State-wide reputation as wholesale suppliers (to provincial stores on a circuit extending across the border to Lismore. etnd their four years of trading in the retail lection ha« shown such continued progress that the existing dleplny has become inadequate. Tho new showrooms will have a show space of 6600 feet and will be elaborately fitted up. with an attractive frontURE and cantilever awning. Tender* for the work are now being invited.

Townsville Daily Bulletin (Qld. : 1907 - 1954), Wednesday 2 March 1938, page 3**CARFOOTS' PTY. LTD.**

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Carfoots entered the retail furniture trade at Townsville in 1934, after building up a State-wide reputation as wholesale suppliers to provincial stores on a circuit extending across the border to Lismore, and their four years of trading in the retail sector has shown such continued progress that the existing display has become inadequate. The new showrooms will have a show space of 5000 feet and will be elaborately fitted up with an attractive frontage and cantilever awning. Tenders for the work are now being invited.

National Library of Australia**<http://nla.gov.au/nla.news-article62281113>**

Townsville Daily Bulletin (Qld. : 1907 - 1954), Wednesday 14 December 1938, page 11

CARFOOT'S NEW PREMISES.

Those many Townsville shoppers who, doubtlessly, intend visiting the new premises of Carfoots (Pty.) Ltd., complete home furnishers, will be privileged to attend on its official opening day a worthy addition, both from the commercial and the aesthetic side, to the importance of the city. The doors of the building will open at about 10 a.m., and at 11 a.m. there will be a recital on the Challan grand piano lent to the firm by Paling's, followed by a further recital in the afternoon. Situated adjacent to Paling's premises, in Flinders-street, the new business headquarters of this enterprising firm must. If for no other reason than space alone, provide them with a great opportunity for large scale expansion of their already flourishing business. The frontage to Flinders-street is only small (17 feet) but as one proceeds through the six-foot wide vestibule, the premises widen out into surprisingly large dimensions, giving unsurpassed opportunities for elaborate display purposes. Actually, the firm's premises comprise the whole of the basement, the big part of the ground floor of the building, the large upstairs portion, a spacious Mezzanine floor and considerable shed and ground accommodation for packing and handling of delivery. The layout of the entire premises is eminently suitable for the most effective and compelling display of the beautiful furnishings that the firm have laid in stock, and Mr. and Mrs. Carfoot and their staff have availed themselves fully of the unrestricted opportunities for tasteful and artistic arrangement. The display window is only ten feet wide, but it goes back ten feet into the building, banking the entire length of the vestibule. From the frontage and the vestibule, in fact on each of three sides, there is an uninterrupted view of the window and its contents. The ceiling is of plaster, and the whole wall is papered in delicate cream, with a border to harmonise. The other three sides are of plate glass, with black Carrara facings on the front and primrose Carrara on the tops. Imparting a rare quality of modern toning effect. The modern cantilever awning with Wunderlich ceiling, imparts an appreciated degree of protection from the afternoon sun. On passing through the vestibule and admiring the exquisite pieces of furniture occupying so prominent a

place in the display window, one enters the real body of the building. On the one side are situated the offices of the principals and staff; the other side is devoted to a comprehensive display of linoleums and soft furnishings such as Manchester goods etc. From the frontage to the furthest wall in this section, the distance is 112 feet, from which statement some idea of the spaciousness of the display section on the ground floor can be obtained. But where spaciousness is concerned, one has to ascend the gently inclined staircase leading up to the top floor, before a complete impression of the possibilities afforded by the new premises can be obtained. This floor, 90 feet long by 30 feet wide, has been painted in shades of cream and white, allowing an almost unbelievable degree of natural lighting effect, while fullest ventilation is permitted by large windows and casement*. The range of furniture and furnishing! occupying the full space of this large floor is as comprehensive as it is attractive. Including all heavy articles such as bedroom, dining room, and lounge suites and kitchen sets, lighter items such as mottled cane furniture and all varieties of upholstered furniture; in fact, every product of the furniture factory that the modern home can require. Each section of furnishings is carefully demarcated, and the intending purchaser has the minimum of difficulty in identifying amongst the huge assortment the type of article he needs. Samples of the large and varied lines of bedding that the firm stock are included on this floor, but for storage purposes, where this section of the business is concerned, the Mezzanine floor, situated above the downstairs display window, has been utilised. Its dimensions are 40 feet by 10 feet; it is easy of access and eminently suited for the purpose to which it has been devoted. The basement and rear storage sections of the premises, which extend right back to Ogden-street, have been devoted to general purposes such as temporary storage, packing, and arrangements of delivery. No better arrangement of the premises for the type of business that Carfoots (Pty.) Ltd. conduct could have been devised, and it is doubtful if more suitable than the premises themselves could have been found. Carfoot's have long since established themselves as a considerable unit in the mechanism of Townsville business; they now have the good fortune to be established in premises sufficiently commodious and attractive to guarantee their unhindered commercial consolidation and expansion for many years to come.

Townsville Daily Bulletin (Qld. : 1907 - 1954), Wednesday 14 December 1938, page 11

CARFOOT'S NEW PREMISES.

Those many Townsville shoppers who, doubtlessly, intend visiting the new premises of Carfoot's (Pty.) Ltd., complete home furnishers, will be privileged to attend on its official opening day a worthy addition, both from the commercial and the aesthetic side, to the importance of the city. The doors of the building will open at about 10 a.m., and at 11 a.m. there will be a recital on the Challan grand piano lent to the firm by Palling's, followed by a further recital in the afternoon.

Situated adjacent to Palling's premises, in Flinders-street, the new business headquarters of this enterprising firm must, if for no other reason than space alone, provide them with a great opportunity for large scale expansion of their already flourishing business. The frontage to Flinders-street is only small (17 feet) but as one proceeds through the six-foot wide vestibule, the premises widen out into surprisingly large dimensions, giving unsurpassed opportunities for elaborate display purposes. Actually, the firm's premises comprise the whole of the basement, the big part of the ground floor of the building, the large upstairs portion, a spacious Mezzanine floor and considerable shed and ground accommodation for packing and handling of delivery.

The layout of the entire premises is eminently suitable for the most effective and compelling display of the beautiful furnishings that the firm have laid in stock, and Mr. and Mrs. Carfoot and their staff have availed themselves fully of the unrestricted opportunities for tasteful and artistic arrangement. The display window is only ten feet wide, but it goes back 40 feet into the building, flanking the entire length of the vestibule. From the frontage and the vestibule, in fact on each of three sides, there is an uninterrupted view of the window and its contents. The ceiling is of plaster, and the whole wall is papered in delicate cream, with a border to harmonise. The other three sides are of plate glass, with black Carrara facings on the front and primrose Carrara on the tops, imparting a rare quality of modern toning effect. The modern cantilever awning with Wunderlich ceiling, imparts an appreciated degree of protection from the afternoon sun.

On passing through the vestibule and admiring the exquisite pieces of furniture occupying so prominent a place in the display window, one enters the real body of the building. On the one side are situated the offices of the principals and staff; the other side is devoted to a comprehensive display of linoleums and soft furnishings such as Manchester goods etc. From the frontage to the furthest wall in this section, the distance is 112 feet, from which statement some idea of the spaciousness of the display section on the ground floor can be obtained.

But where spaciousness is concerned, one has to ascend the gently-inclined staircase leading up to the top floor, before a complete impression of the possibilities afforded by the new premises can be obtained. This floor, 80 feet long by 30 feet wide, has been painted in shades of cream and white, allowing an almost unbelievable degree of natural lighting effect, while fullest ventilation is permitted by large windows and casements. The range of furniture and furnishings occupying the full space of this large floor is as comprehensive as it is attractive, including all heavy articles such as bedroom, dining room, and lounge suites and kitchen sets, lighter items such as mottled cane furniture and all varieties of upholstered furniture. In fact, every product of the furniture factory that the modern home can require. Each section of furnishings is carefully demarked, and the intending purchaser has the minimum of difficulty in identifying amongst the huge assortment the type of article he needs.

Samples of the large and varied

article he needs.

Samples of the large and varied lines of bedding that the firm stock are included on this floor, but for storage purposes, where this section of the business is concerned, the Mezzanine floor, situated above the downstairs display window, has been utilised. Its dimensions are 40 feet by 10 feet; it is easy of access and eminently suited for the purpose to which it has been devoted.

The basement and rear storage sections of the premises, which extend right back to Ogden-street, have been devoted to general purposes such as temporary storage, packing, and arrangements of delivery. No better arrangement of the premises for the type of business that Carfoot's (Pty.) Ltd. conduct could have been devised, and it is doubtful if more suitable than the premises themselves could have been found. Carfoot's have long since established themselves as a considerable unit in the mechanism of Townsville business; they now have the good fortune to be established in premises sufficiently commodious and attractive to guarantee their unhindered commercial consolidation and expansion for many years to come.

Courier-Mail (Brisbane, Qld. : 1933 - 1954), Wednesday 3 February 1954, page 8

The state of Queensland

BIG TOWNSVILLE PROPERTY SALES

TOWNSVILLE (by teleprinter) — Two centrally situated free-hold properties in Flinders Street, were sold yesterday at an

aggregate figure said to be £100,000

A two-story brick building

occupied by Carfoots Pty, Ltd, and Sunshine Taxis, was sold to Carfoots by Jack and Manuel Barboutis, who acquired the property some years ago. The building has: a 33ft frontage to Flinders Street, and a depth of 165ft to Ogden Street, and has a large basement. The Barboutis brothers have purchased the Forsayth building, on the same side of Flinders Street, a short distance away, from Mr. P. Staunton. This property has been

remodelled since first built. In the early days it housed the business of William Mac-Kenzie, sailmaker and canvas dealer. The founder, William Mac-Kenzie, made the first Australian flag, which was unfurled in Townsville by the first Governor-General, Lord Hopetoun, in 1901. The Forsayth building also has a 33ft frontage to Flinders Street, extending 165ft to Ogden Street, and has extensive basement space. The negotiations in each sale were handled by C. L. Knobel & Co.

Courier-Mail (Brisbane, Qld. : 1933 - 1954), Wednesday 3 February 1954, page 8



BIG TOWNSVILLE PROPERTY SALES

TOWNSVILLE (by teleprinter) — Two centrally situated freehold properties in Flinders Street, were sold yesterday at an aggregate figure said to be £100 000

A two-story brick building, occupied by Carfoots Pty, Ltd, and Sunshine Taxis, was sold to Carfoots by Jack and Manuel Barboutis, who acquired the property some years ago.

The building has a 33ft frontage to Flinders Street, and a depth of 165ft to Ogden Street, and has a large basement.

The Barboutis brothers have purchased the Forsyth building, on the same side of Flinders Street, a short distance away, from Mr. P. Staunton.

This property has been remodelled since first built. In the early days it housed the business of William MacKenzie, sailmaker and canvas dealer.

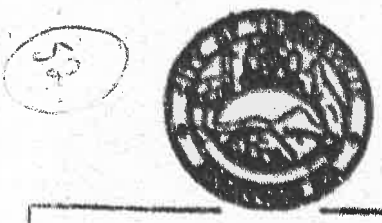
The founder, William MacKenzie, made the first Australian flag, which was unfurled in Townsville by the first Governor-General, Lord Hopetoun, in 1901.

The Forsyth building also has a 33ft frontage to Flinders Street, extending 165ft to Ogden Street, and has extensive basement space.

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National Library of Australia

<http://nla.gov.au/nla.news-article50571277>



TOWNSVILLE CITY COUNCIL

Council of the City of Townsville

Certificate No: 10015

Date of Certificate: 23.3.77

CERTIFICATE OF CLASSIFICATION

This is to certify that the Council has approved of the use of the building as a building of the class or classes detailed below:-

Owner's Name: ROSE & LINDA (PATERFIELD) P/L

Actual Residential Address: 13-15 WINDSOR AVENUE

STONEY

Post Code:

Full Site Address of Work: (Accurate Site Location):-

Street No.: Street: PATERFIELD

Suburb or Town: TOWNSVILLE

Post Code:

Real Property Description of land on which building is situated:

SUB.	RESUB.	SUB.	RESUB.	SUB.	RESUB.	SUB.	ALLOT.	SECTION	PORTION
							3	10	

LOT No.	REG. PLAN No.

Exist Floor Area: 1770.92 M2
Floor Area Demolished: 315.00 M2
Total Floor Area: 1454.92 M2

PARISH:
COUNTY:

RATE ASSESSMENT No.
01.05.158

STOREY OF PORTION OF BUILDING	CLASS OR CLASSES
ALTERATIONS & BRICK PARTITIONS TO SHOP (WHOLE FLOOR AREA)	CLASS VI

Signed: Town Clerk

NOTE: The use of the above building or any portion thereof for a purpose in contravention of this certificate is an offence against the Building Act 1974.

NOTE: This certificate designates uses for which the building is constructed, under applicable building regulations. It does not constitute permission to occupy the building in cases where other prior licences or approvals are required under other regulations.

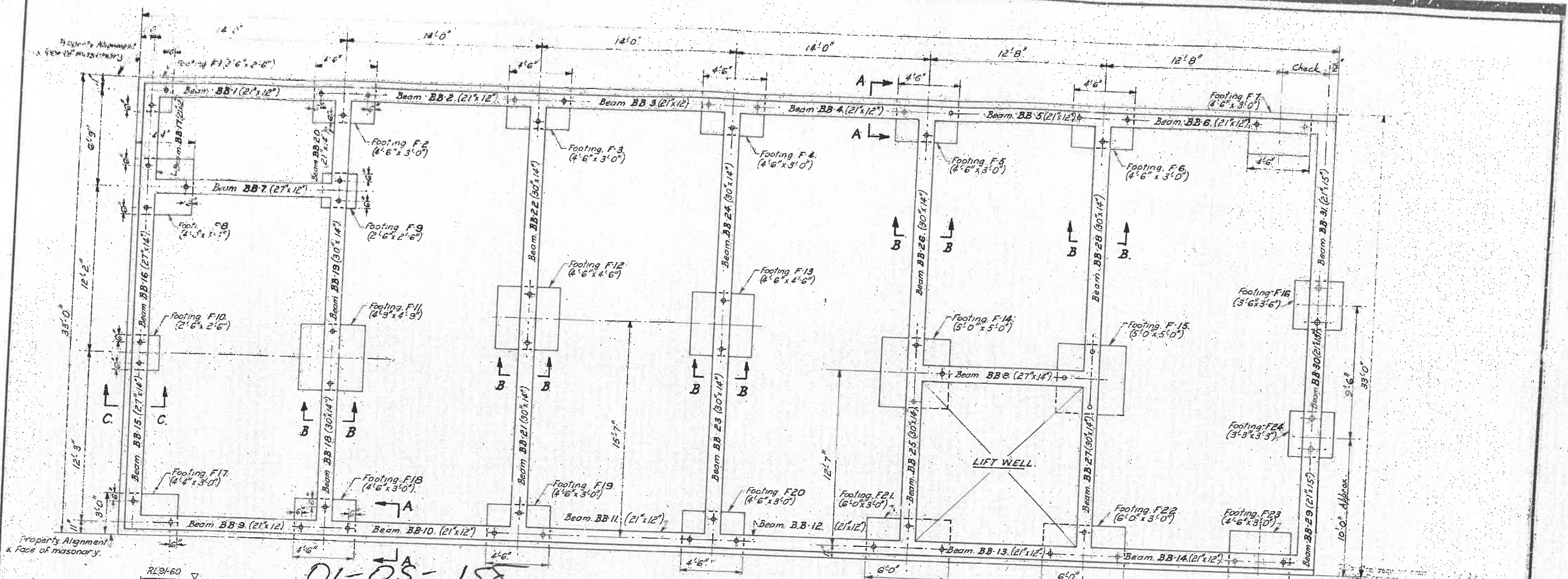
Original to owner.

Name:
Address:

- Register
- City Architect's File
- Rates
- Town Planner
- Chief Health Surveyor
- City Engineer

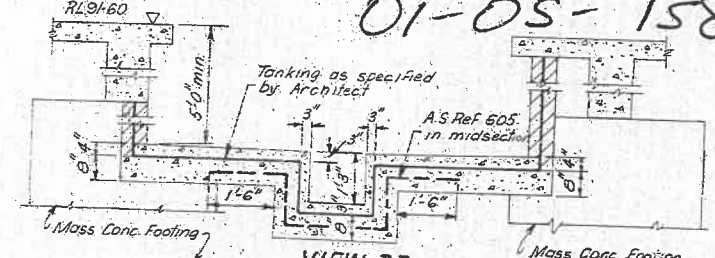
22

01.05.158

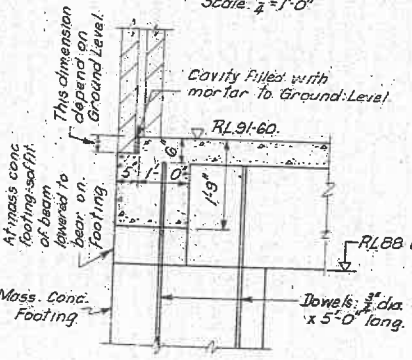


FOUNDATION PLAN
Scale: 1/4" = 1'-0"

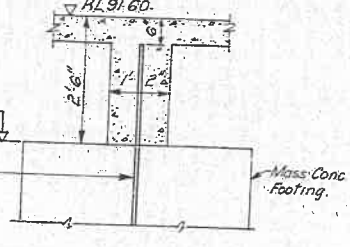
NOTE Mild Steel Dowel bars 3/8" dia. x 5'-0" long designated thus: —



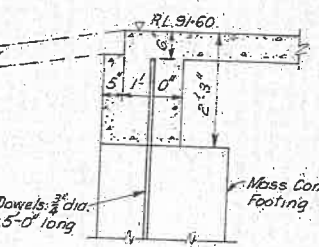
VIEW-D-D
Scale: 1/2" = 1'-0"



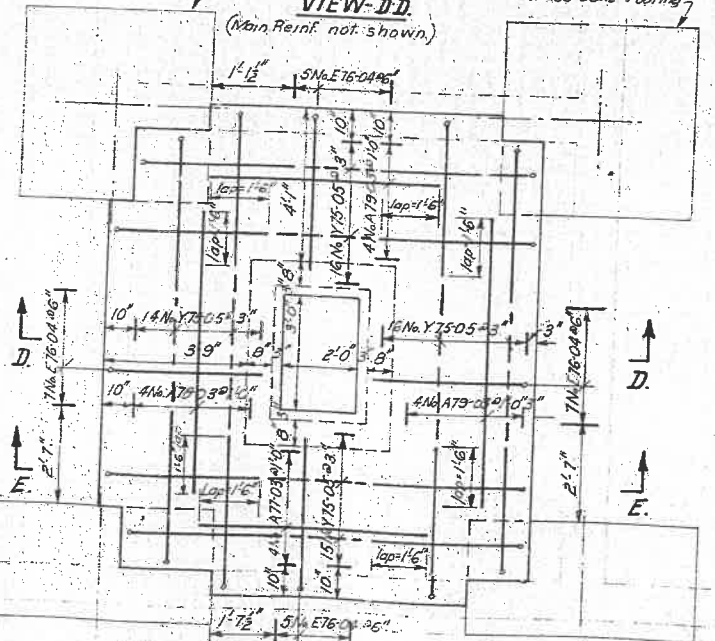
TYPICAL VIEW-A-A
Scale: 1/2" = 1'-0"



TYPICAL VIEW-B-B
Scale: 1/2" = 1'-0"

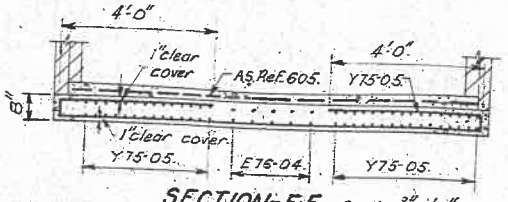


VIEW-C-C
Scale: 1/2" = 1'-0"



PLAN-LIFT WELL
Scale: 3/8" = 1'-0"

Note: AS Ref E05 not shown for clarity.
2 Beams over (i.e. at Basement level) shown thus: —



SECTION-E-E
Scale: 3/8" = 1'-0"

Note: Dist. reinf. (i.e. A77-D3) not shown.

GENERAL NOTES.

- When placing concrete in Footings the contractor shall ensure that the Footing is brought up to the underside of reinforcement projecting down from Basement Beams. Prior to placing subsequent lifts the construction joint shall be scabbled to ensure the removal of all laitance.
- M.S. Dowel bars 3/8" dia. x 5'-0" designated thus: —
- Mass Concrete Footings shall be taken down to an even stratum having a bearing capacity of 5 Tons per sq. inch.
- Concrete shall have following strengths:
 - (i) Mass Conc. Footings: 2000 lbs per sq. inch cylinder strength at 28 days.
 - (ii) Beams & Slabs: 3000 " " " "
 - (iii) Columns: 3000 " " " "
- This Drg. shall be read in conjunction with "Standard Notes for Reading Detailed Reinforced Concrete Drgs."

City Architect
Building Fee
Receipt No.
City Council under its By-Laws.
City Architect
Building Fee
Receipt No.

D.B. GOODSIR & H. CARLYLE
ARCHITECTS

CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

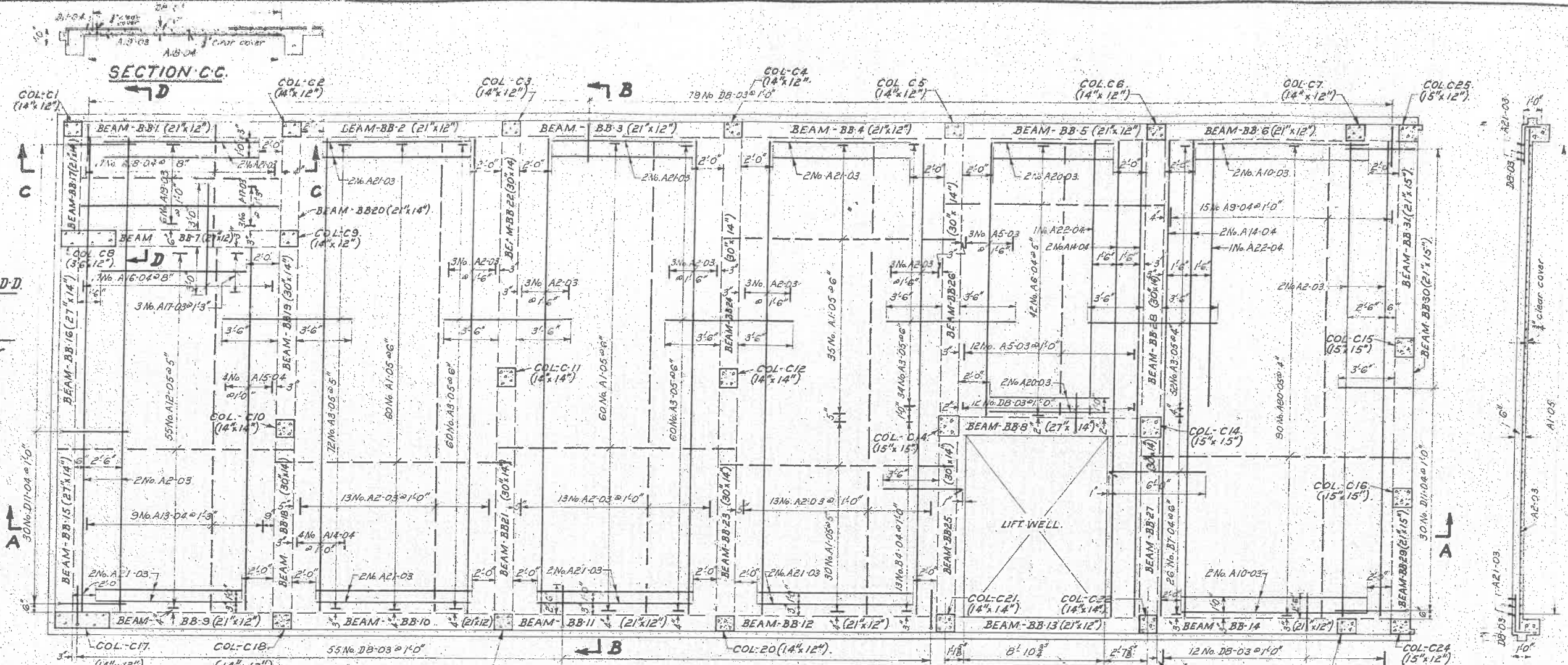
CARFOOTS. PTY. LTD.

FOUNDATION PLAN & DETAILS OF FOOTINGS & LIFT WELL

DESIGNED BY: DRAWN BY: CHECKED BY: *[Signature]* 1120.

REVISIONS	CHECKED	CHECKED
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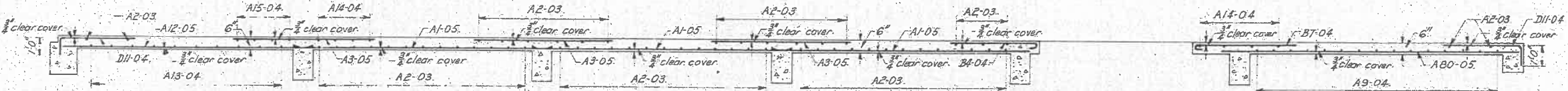
01-05-158



BASEMENT PLAN.

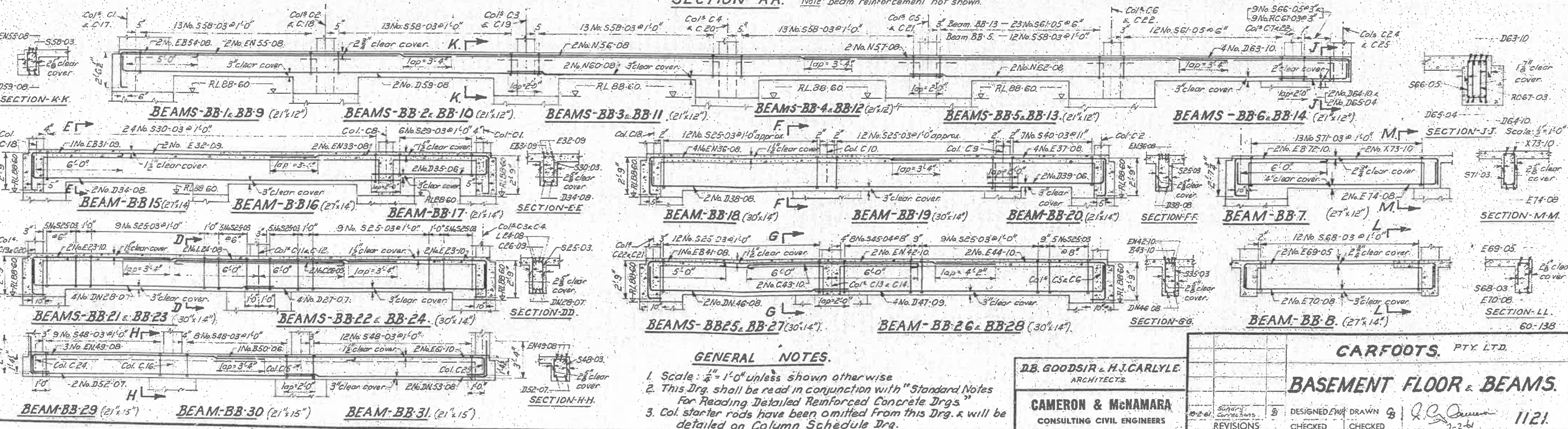
SECTION-BB.

Note: Beam reinf not shown



SECTION-AA.

Note: Beam reinforcement not shown.



GENERAL NOTES.

1. Scale: 1/4" = 1'-0" unless shown otherwise
2. This Drg. shall be read in conjunction with "Standard Notes For Reading Detailed Reinforced Concrete Drgs."
3. Col. starter rods have been omitted from this Drg. & will be detailed on Column Schedule Drg.

D.B. GOODSIR & H.J. CARLYLE
ARCHITECTS.

CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

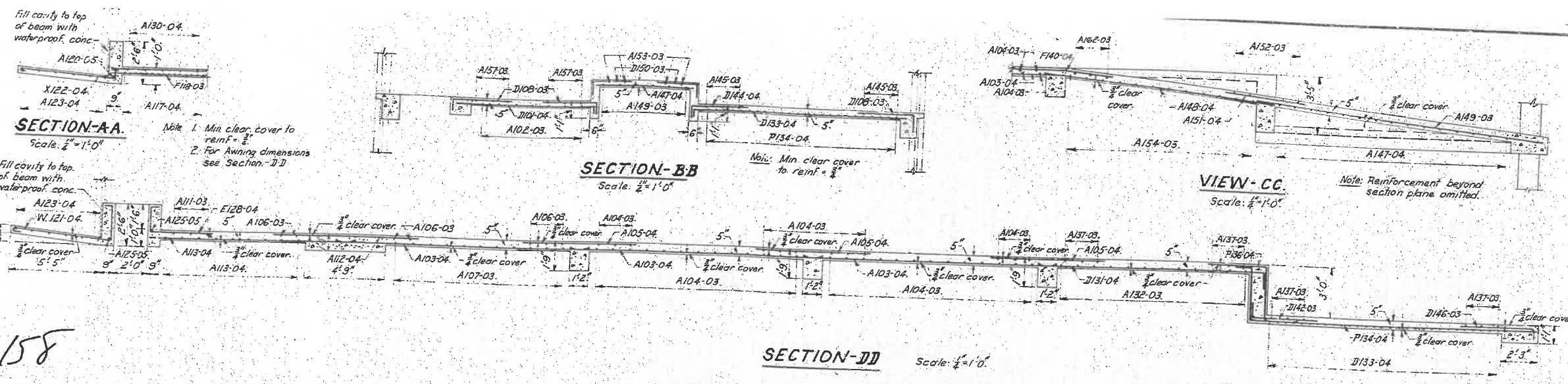
CARFOOTS. PTY. LTD.

BASEMENT FLOOR & BEAMS.

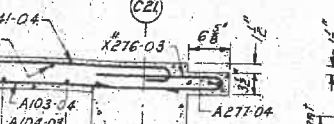
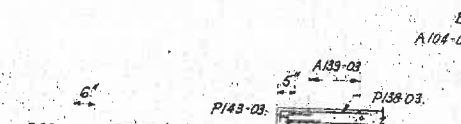
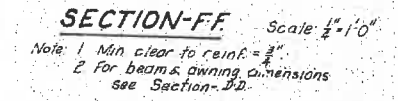
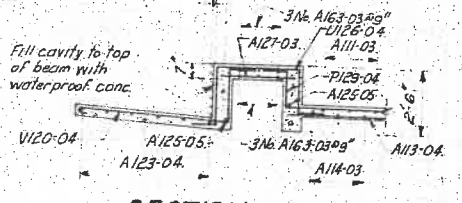
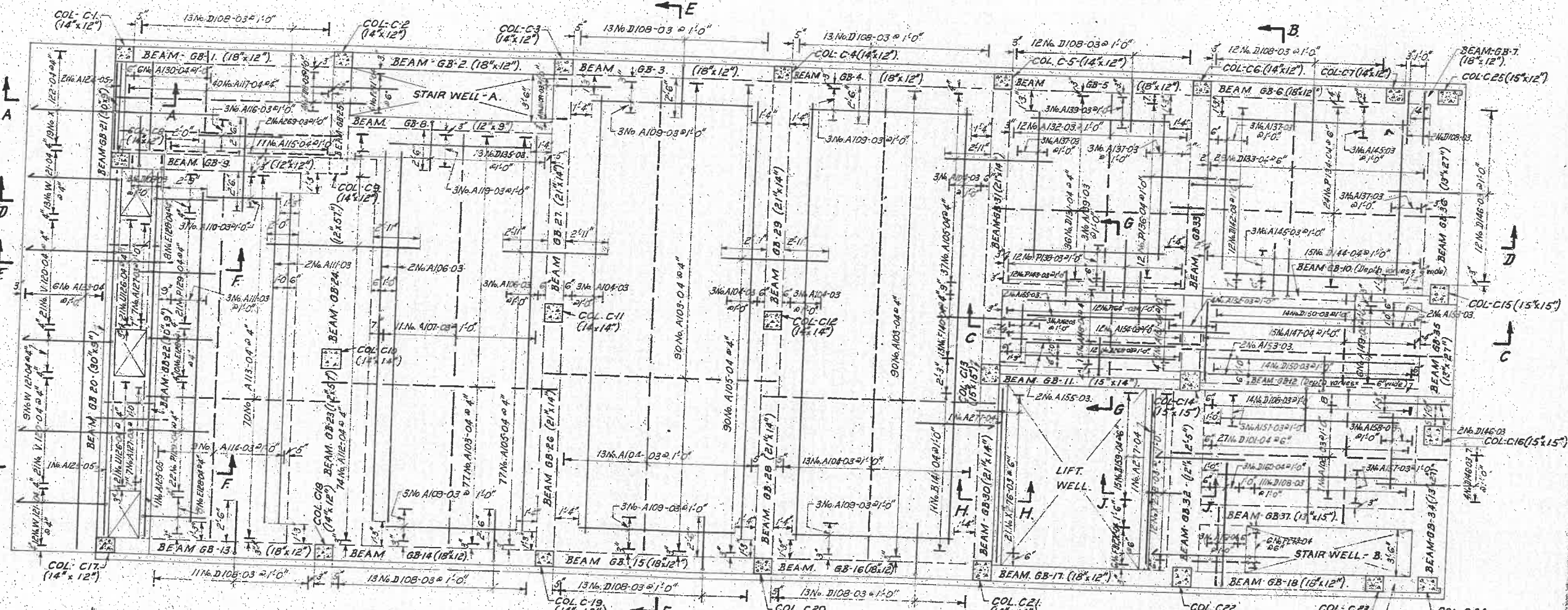
DESIGNED BY: [Signature] DRAWN BY: [Signature]
CHECKED: [Signature] CHECKED: [Signature]

REVISIONS: [Table with 2 columns: No., Description]

60-138



01-05-158



- GENERAL NOTES**
- Concrete shall have a minimum cylinder strength of 3000 lbs/sq inch at 28 days.
 - For detail of stairs see Stair Drg. No.
 - Where dimensions of beams are given as eg (21"x14") this shall be read as 21" deep x 14" wide.
 - This Drg shall be read in conjunction with Standard Notes for Reading Detailed Reinforced Concrete Drgs.

DB GOODSR & HJ. CARLYLE
ARCHITECTS

CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

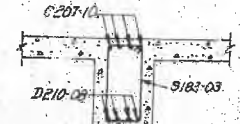
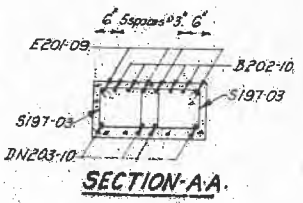
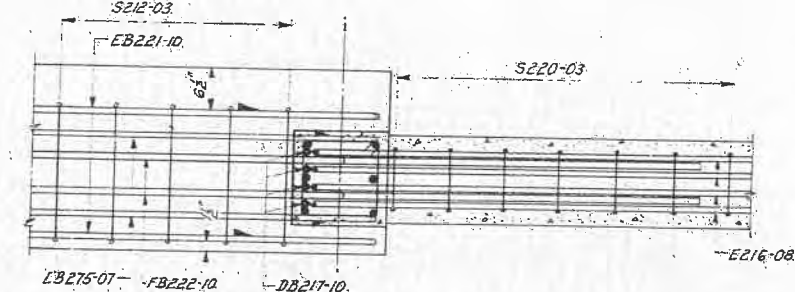
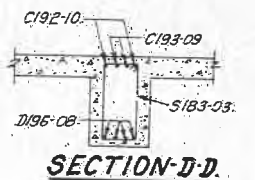
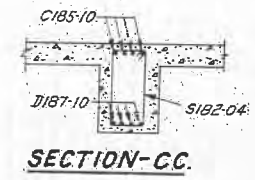
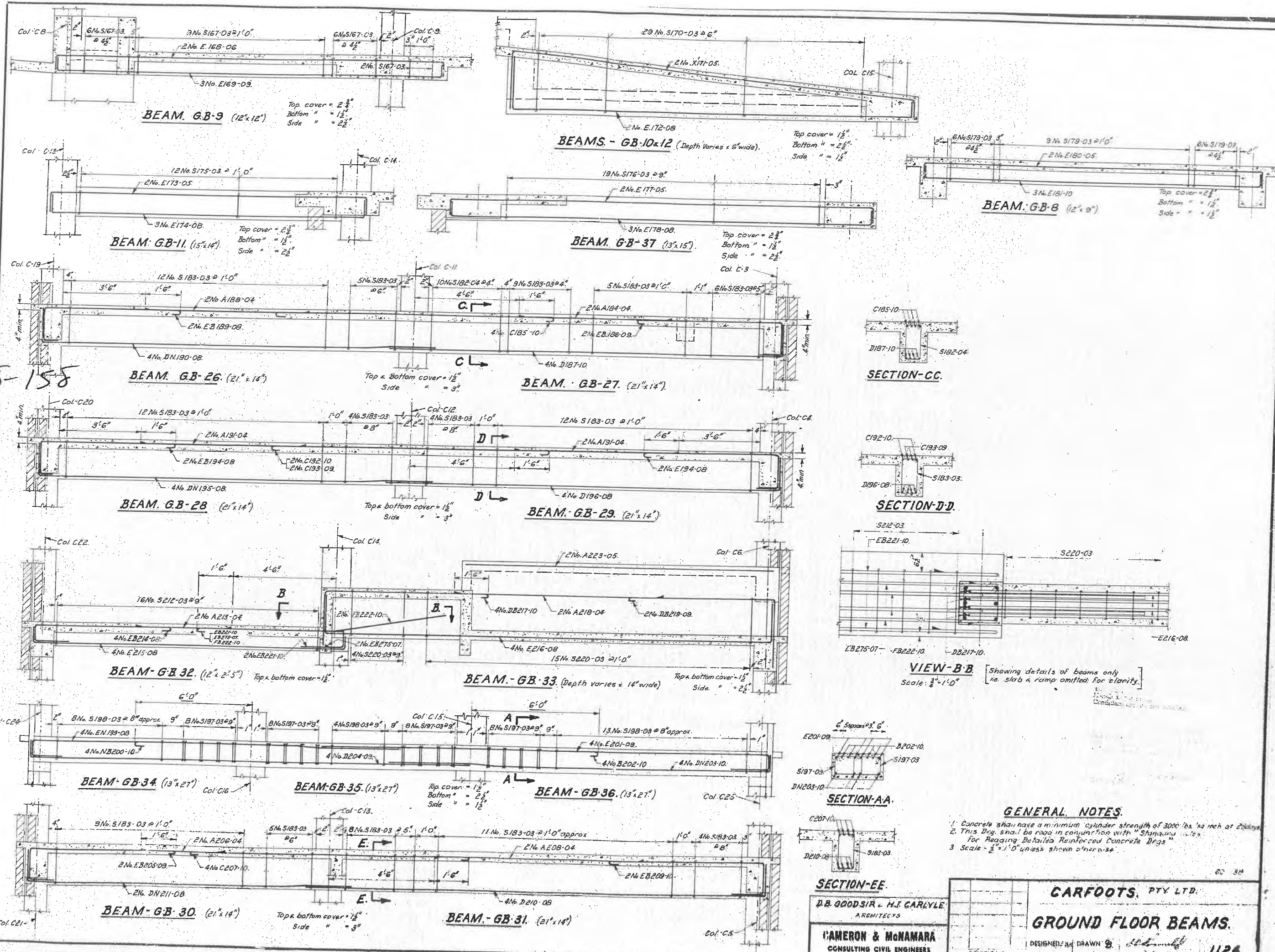
CARFOOTS. PTY. LTD.

GROUND FLOOR SLAB.

DESIGNED BY DRAWN BY
CHECKED BY CHECKED BY

1123

01-05-158



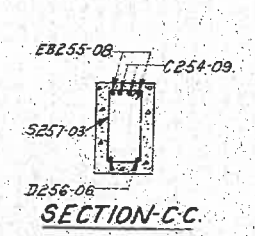
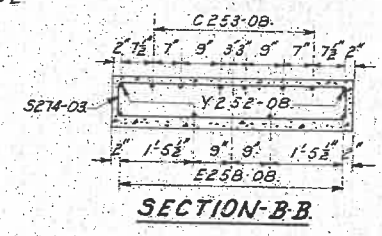
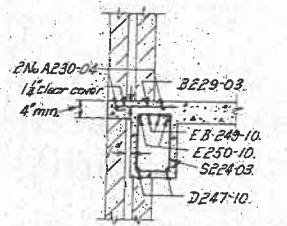
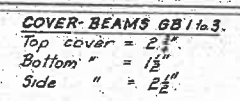
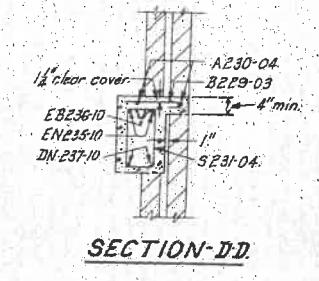
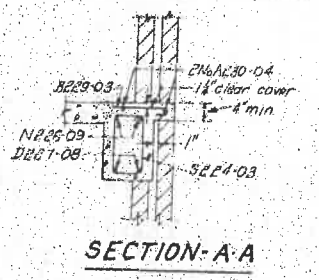
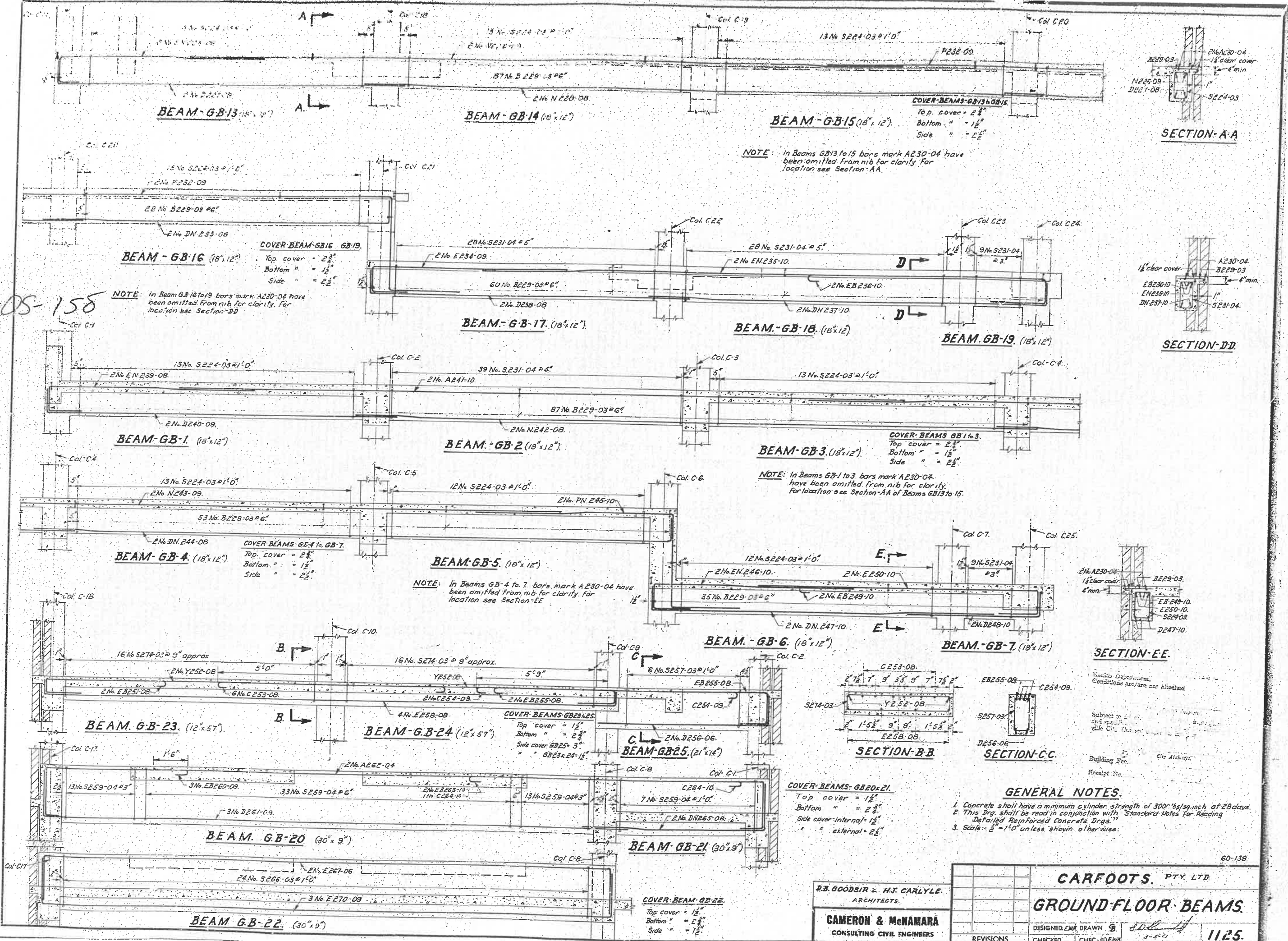
GENERAL NOTES

- Concrete shall have a minimum cylinder strength of 3000 lbs. sq. in. at 28 days.
- This Draw. shall be read in conjunction with "Standard Conditions for Requiring Detailed Reinforced Concrete Drawings".
- Scale - $\frac{1}{4}'' = 1'-0''$ unless shown otherwise.

SECTION-EE
 P.B. GOODSIR - H.J. CARLYLE
 ARCHITECTS
AMERON & McNAMARA
 CONSULTING CIVIL ENGINEERS

CARFOOTS, PTY. LTD.
GROUND FLOOR BEAMS.
 DESIGNED BY: DRAWN BY: [Signature]
 CHECKED: CHECKED BY: [Signature]
 REVISIONS
 1124

71-05-158



NOTE: In Beams GB13 to 15 bars mark A230-04 have been omitted from nib for clarity. For location see Section-A-A.

NOTE: In Beam GB16 to 19 bars mark A230-04 have been omitted from nib for clarity. For location see Section-B-B.

NOTE: In Beams GB-1 to 3 bars mark A230-04 have been omitted from nib for clarity. For location see Section-A-A of Beams GB13 to 15.

NOTE: In Beams GB-4 to 7 bars mark A230-04 have been omitted from nib for clarity. For location see Section-EE.

GENERAL NOTES.

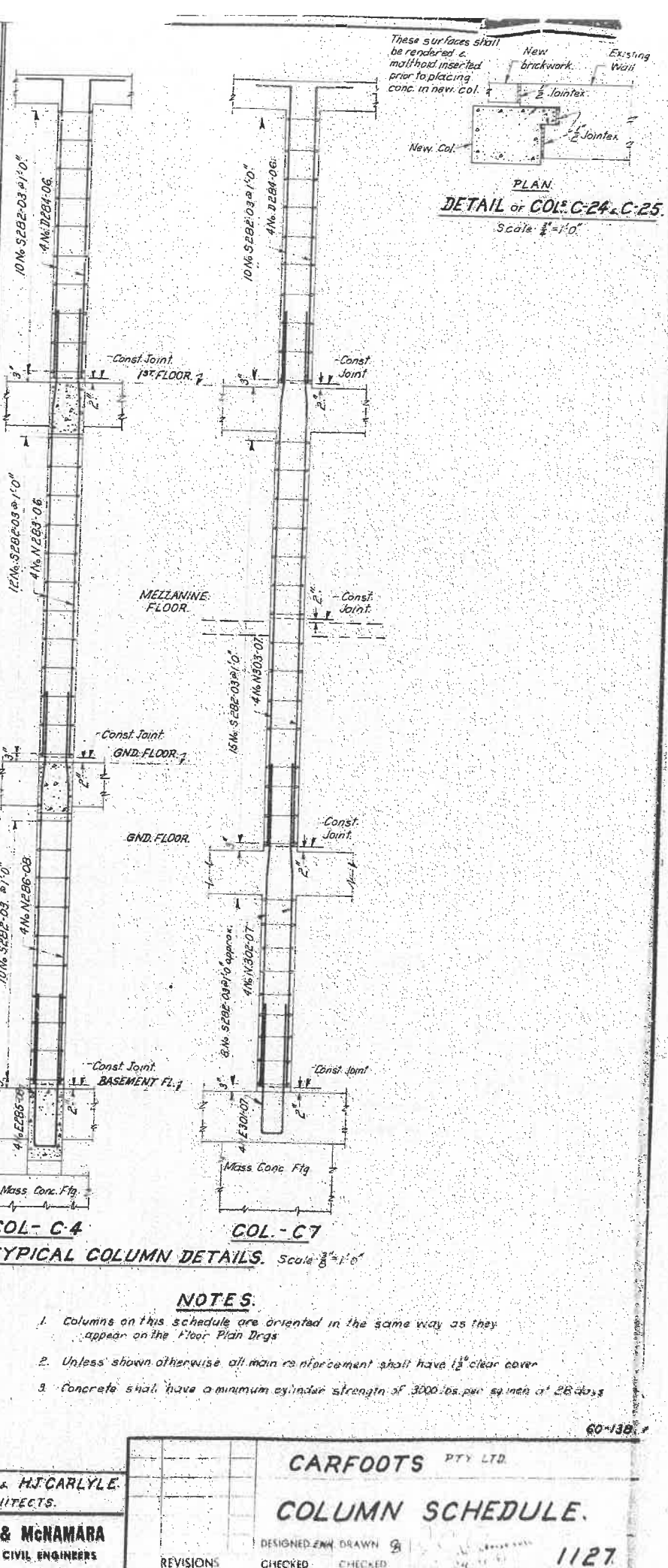
1. Concrete shall have a minimum cylinder strength of 3000 lbs/sq.inch at 28 days.
2. This Dwg. shall be read in conjunction with "Standard Notes for Reading Detailed Reinforced Concrete Drgs."
3. Scale: 3/8" = 1'-0" unless shown otherwise.

D.B. GOODSIR & H.J. CARLYLE
 ARCHITECTS.
CAMERON & McNAMARA
 CONSULTING CIVIL ENGINEERS

CARFOOTS. PTY. LTD.	
GROUND FLOOR BEAMS.	
DESIGNED: ZWA	DRAWN: 9
CHECKED: CHEC. EDENWA	1125.

COL. No.	STORY			
	STARTER RODS.	BASEMENT- GND. FLOOR	GND. FLOOR- 1ST FLOOR.	1ST FLOOR- ROOF.
C1				
C2				
C3				
C4				
C5	AS FOR COL. C-4.			
C6	AS FOR COL. C-4.			
C7				
C8				
C9				
C10				
C11				
C12	AS FOR COL. C-11.			
C13				

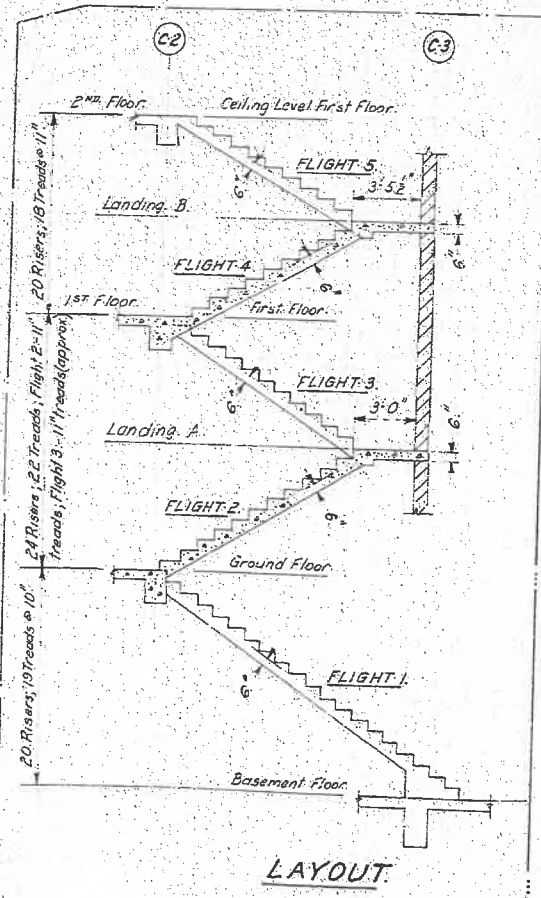
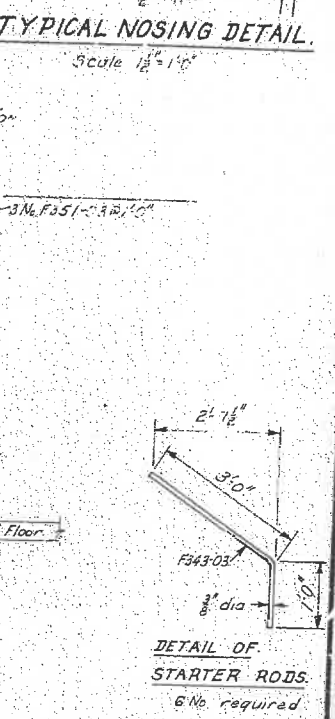
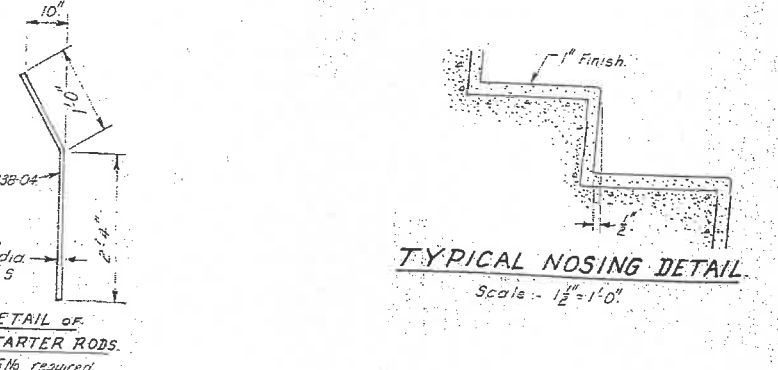
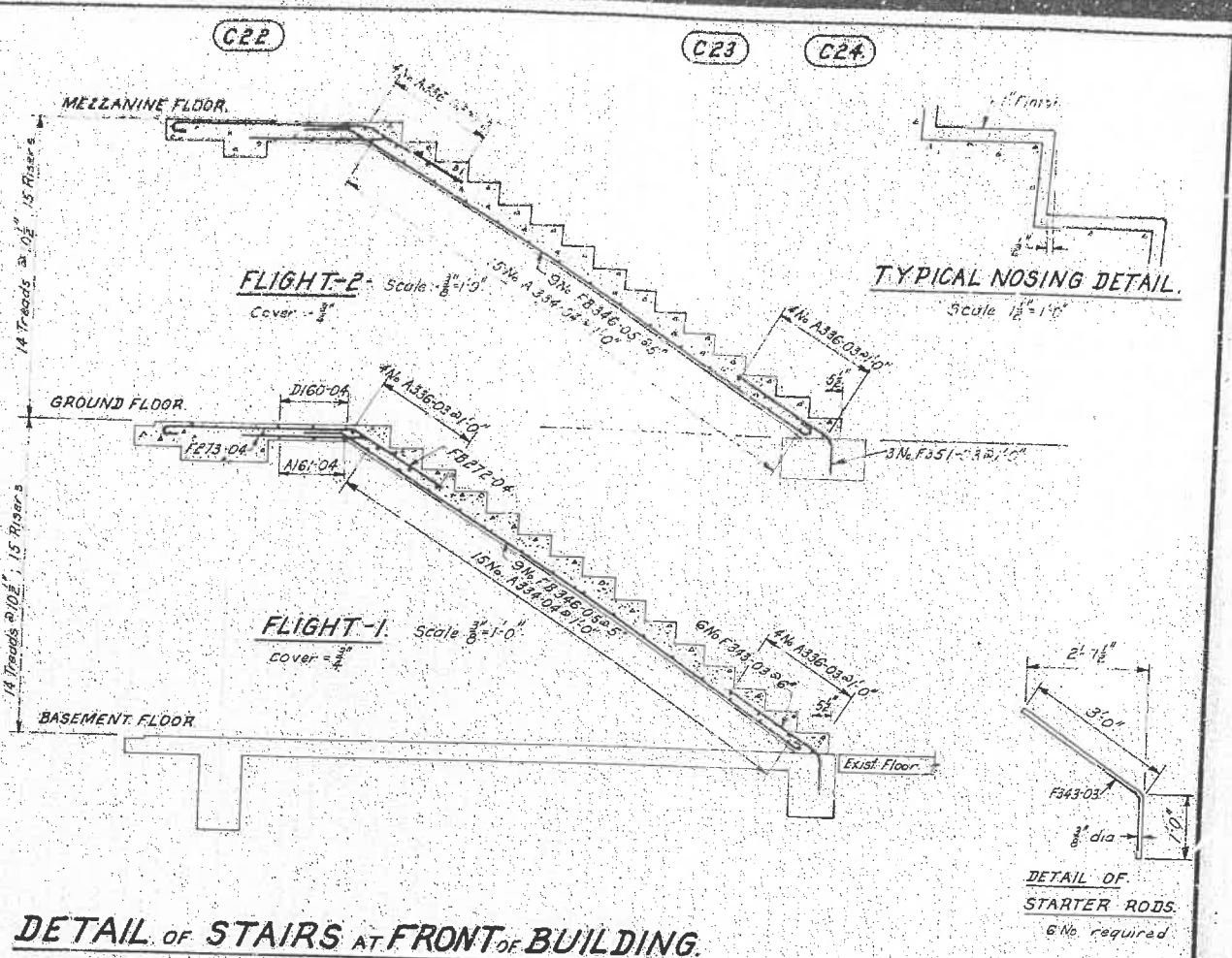
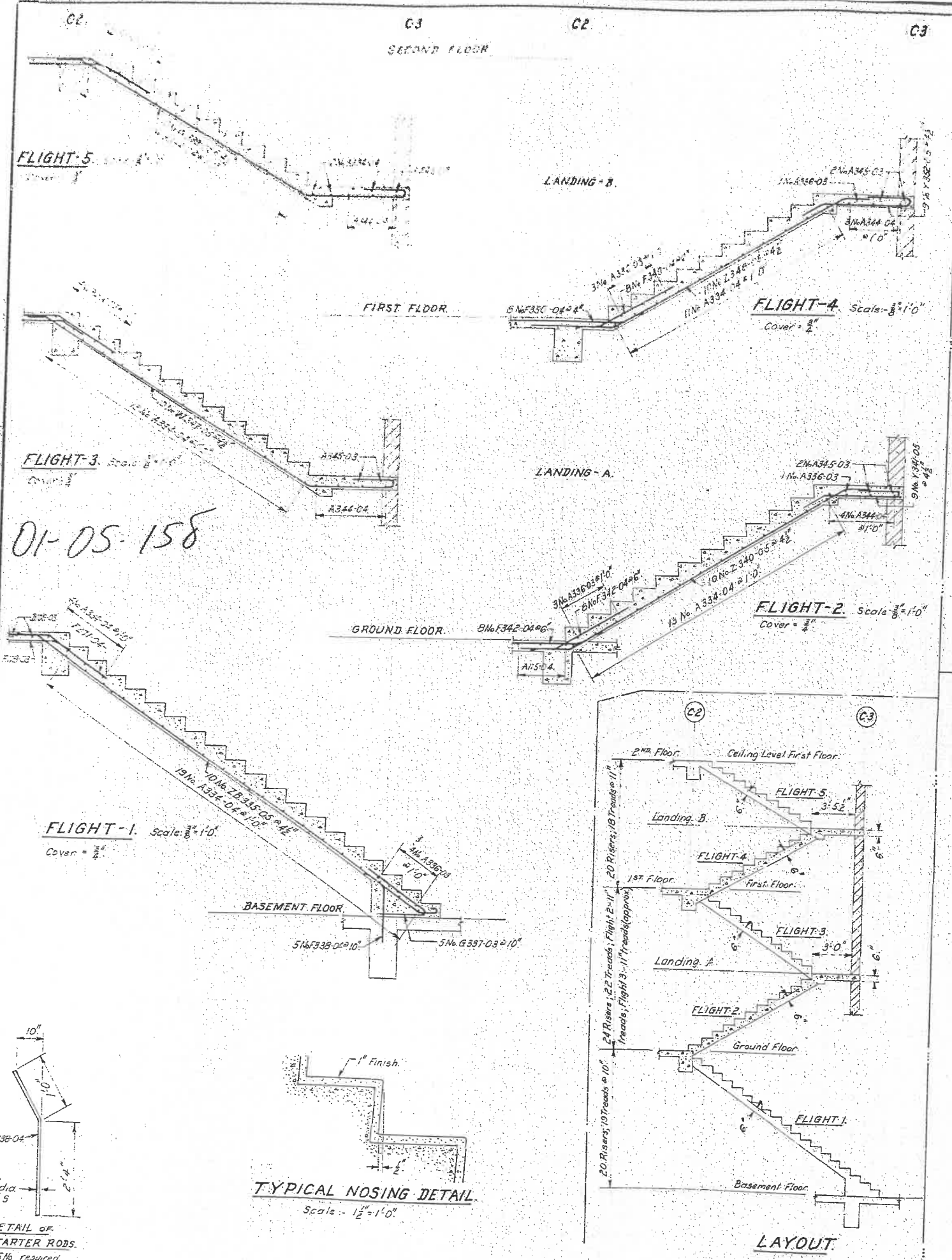
COL. No.	STORY			
	STARTER RODS.	BASEMENT- GND. FLOOR	GND. FLOOR- 1ST FLOOR.	1ST FLOOR- ROOF.
C14				
C15				
C16	AS FOR COL. C-15. Note: No. column splice at Mezzanine Floor.			
C17				
C18	AS FOR COL. C-2.			
C19	AS FOR COL. C-4.			
C20	AS FOR COL. C-4.			
C21				
C22				
C23	AS FOR COL. C-7.			
C24	AS FOR COL. C-25. Note: No. column splice at Mezzanine Floor.			
C25				



01-05-158

J. A. GOODSIR & H. J. CARLYLE
ARCHITECTS.
CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

CARFOOTS PTY LTD
COLUMN SCHEDULE.
DESIGNED Z.M. DRAWN G.
REVISIONS CHECKED CHECKED
1127



- NOTES**
1. Concrete shall have a minimum cylinder strength of 3000 lbs/sq inch at 28 days.
 2. Stair Landings & Flights shall have 1" Finish.
 3. This Drg. shall be read in conjunction with "Standard Notes for Reading Detailed Reinforced Concrete Drawings"

DETAIL OF STAIRS AT REAR OF BUILDING (OGDEN ST. END).

CARFOOTS PTY. LTD.
DETAIL OF STAIRS.

D.B. GODSIR & H.J. CARLYLE ARCHITECTS
CAMERON & McNAMARA CONSULTING CIVIL ENGINEERS

DESIGNED	DRAWN	CHECKED	CHECKED
	9		
REVISIONS			

1153

SCHEDULE 14 B - STAIRS FRONT & REAR

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
1	Handrail	LINEAL FT.	100	1.50	150.00
2	Stringer	LINEAL FT.	100	1.50	150.00
3	Staircase	SQ. FT.	100	1.50	150.00
4
5
6
7
8
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10
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SCHEDULE 14 B - STAIRS FRONT & REAR

NO.	DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL PRICE
1	Handrail	LINEAL FT.	100	1.50	150.00
2	Stringer	LINEAL FT.	100	1.50	150.00
3	Staircase	SQ. FT.	100	1.50	150.00
4
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NOTE This schedule shall be used to estimate the work to be done on the stairs front and rear of the building.

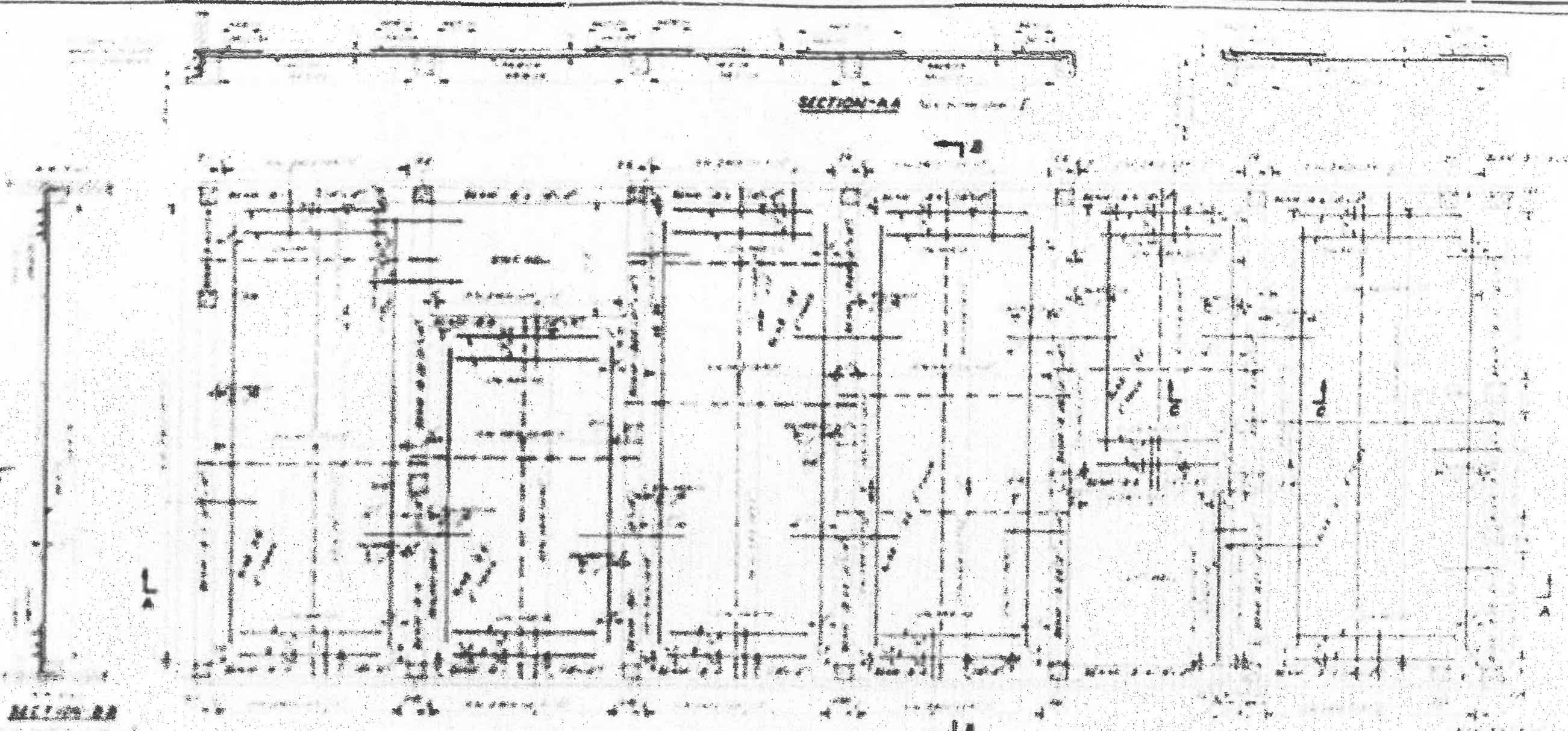
CHANGES & OMISSIONS

CAR/OTS

ESTIMATED QUANTITY OF WORK TO BE DONE ON THE STAIRS FRONT AND REAR OF THE BUILDING.

2155

01-05-158



PLAN - FIRST FLOOR SLAB

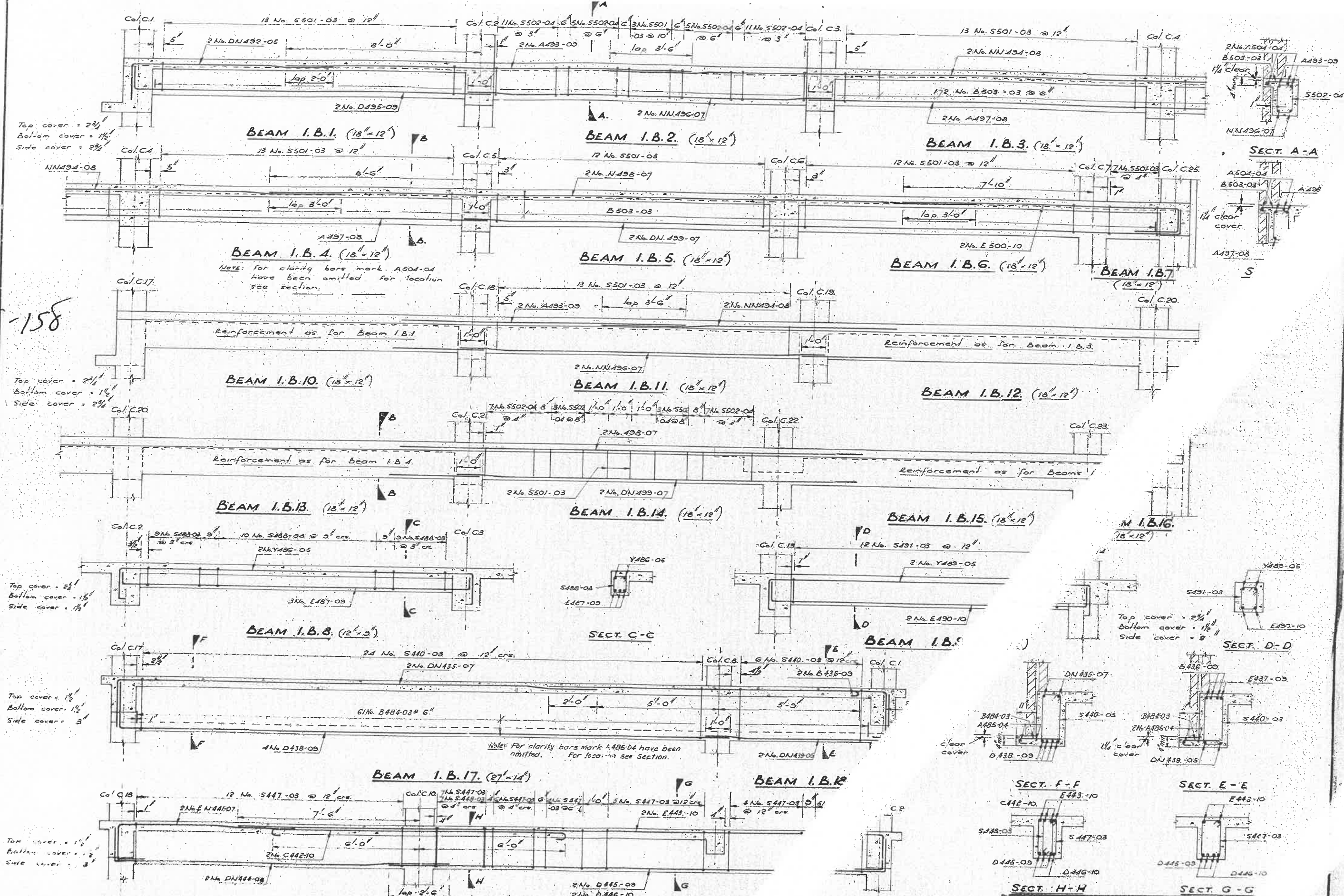
SECTION CC

NOTES

REVISIONS
 CAMERON & MERRILL
 CONSULTING ENGINEERS

CARFOOTS
 FIRST FLOOR SLAB
 REINFORCING DETAILS
 1157

01-05-158



Top cover = 2 1/4"
Bottom cover = 1 1/2"
Side cover = 2 1/4"

Top cover = 2 1/4"
Bottom cover = 1 1/2"
Side cover = 2 1/4"

Top cover = 2 1/4"
Bottom cover = 1 1/2"
Side cover = 1 1/2"

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3"

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3"

NOTES:
1. Concrete shall have a min cylinder strength of 4000 lb sq in at 28 days.

NOTES: (cont)
3. Where beam dimensions are given (e.g. 18" deep x 12" wide) they shall be read as 18" deep x 12" wide.
4. This drawing shall be read in conjunction with "Standard Notes for Reading Detailed Concrete Drawings."

D.B. GOODSIR & H.J. CARLYLE
ARCHITECTS
CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

CARFOOTS. PTY. LTD.
FIRST FLOOR REINFORCEMENT
DESIGNED BY: DRAWN BY: J.A.
CHECKED BY: CHECKED BY: G.A.
1158

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3/4"

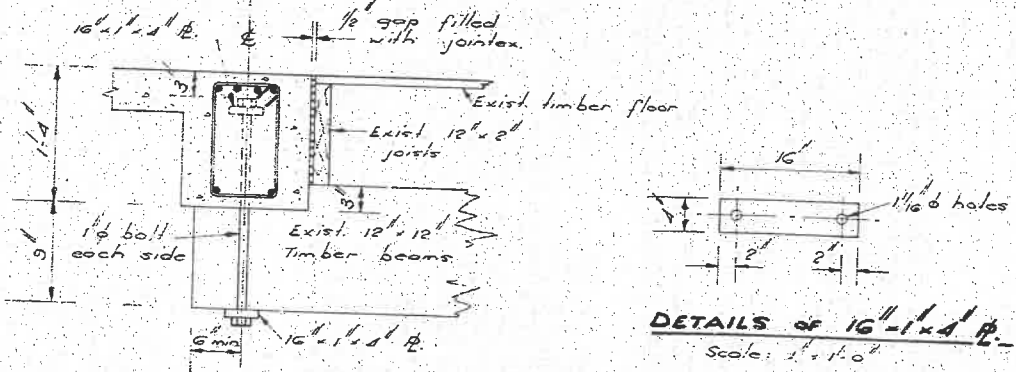
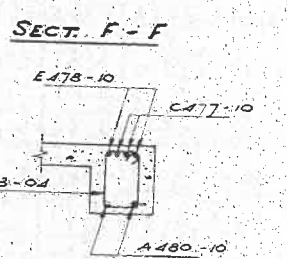
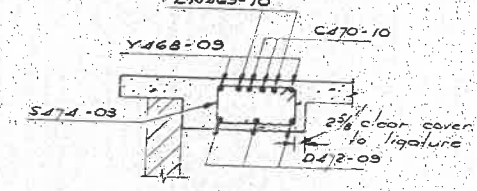
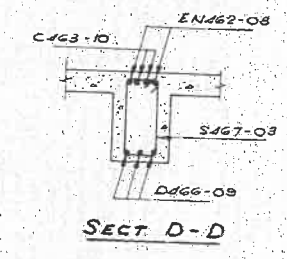
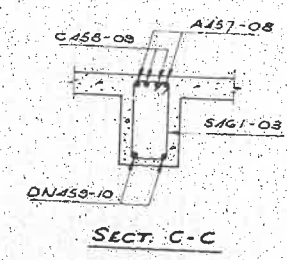
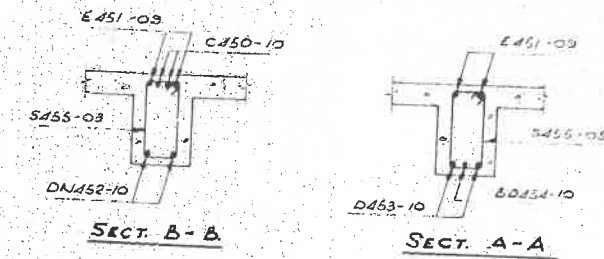
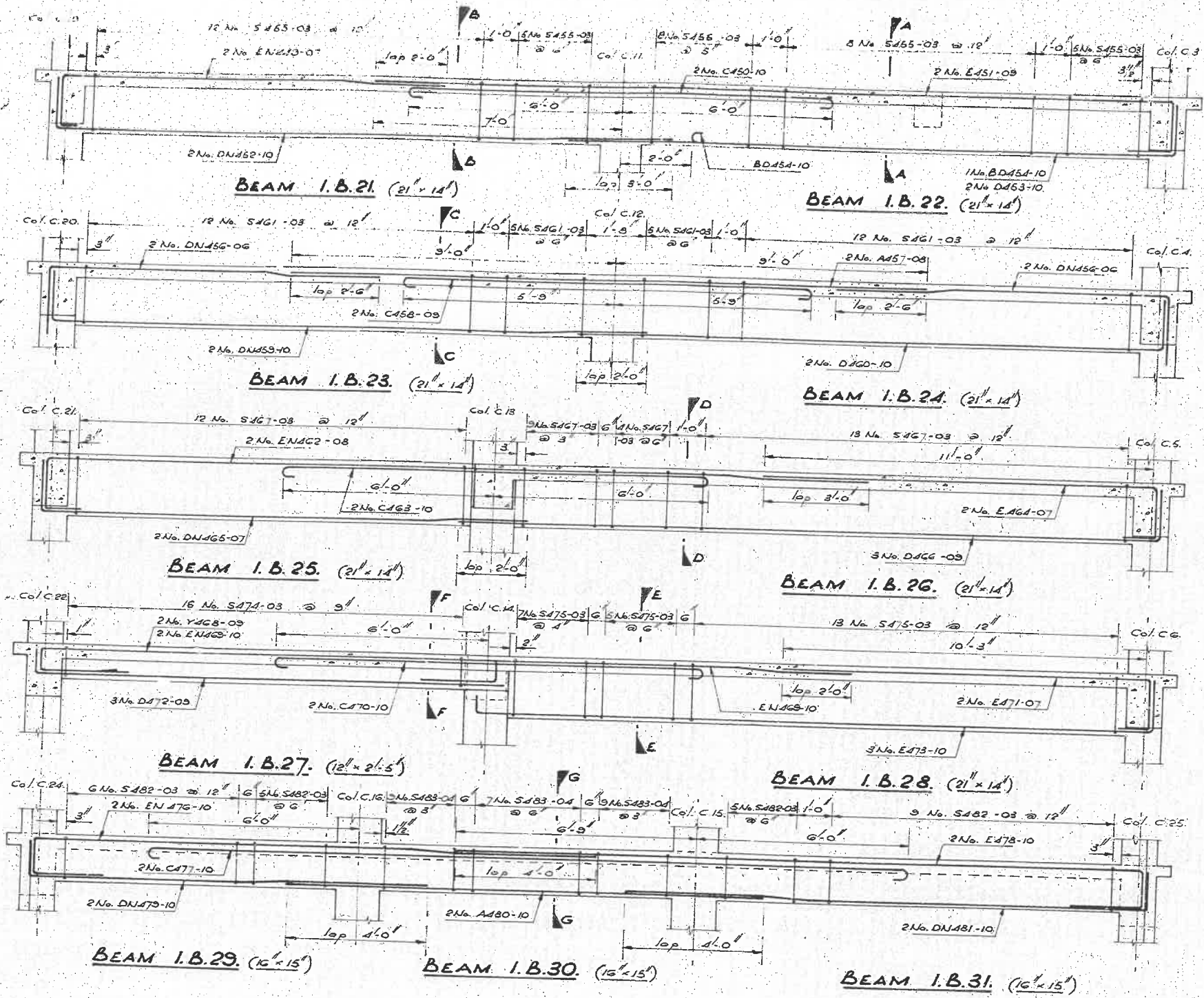
Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3/4"

01-DS-158

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3/4"

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3/4"

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 3/4"



- NOTES:
1. Scale - 1/2" = 1'-0" unless shown otherwise
 2. Concrete shall have a min. cylinder strength of 3000 lb/sq.in. at 28 days.
 3. Where beam dimensions are given (e.g. 21' x 14') they shall be read as 21' deep x 14' wide.
 4. This drawing shall be read in conjunction with Standard Notes for Reading Detailed Reinforced Concrete Drawings.

D.B. GOODSIR & H.J. CARLYLE
ARCHITECTS
CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

60-138

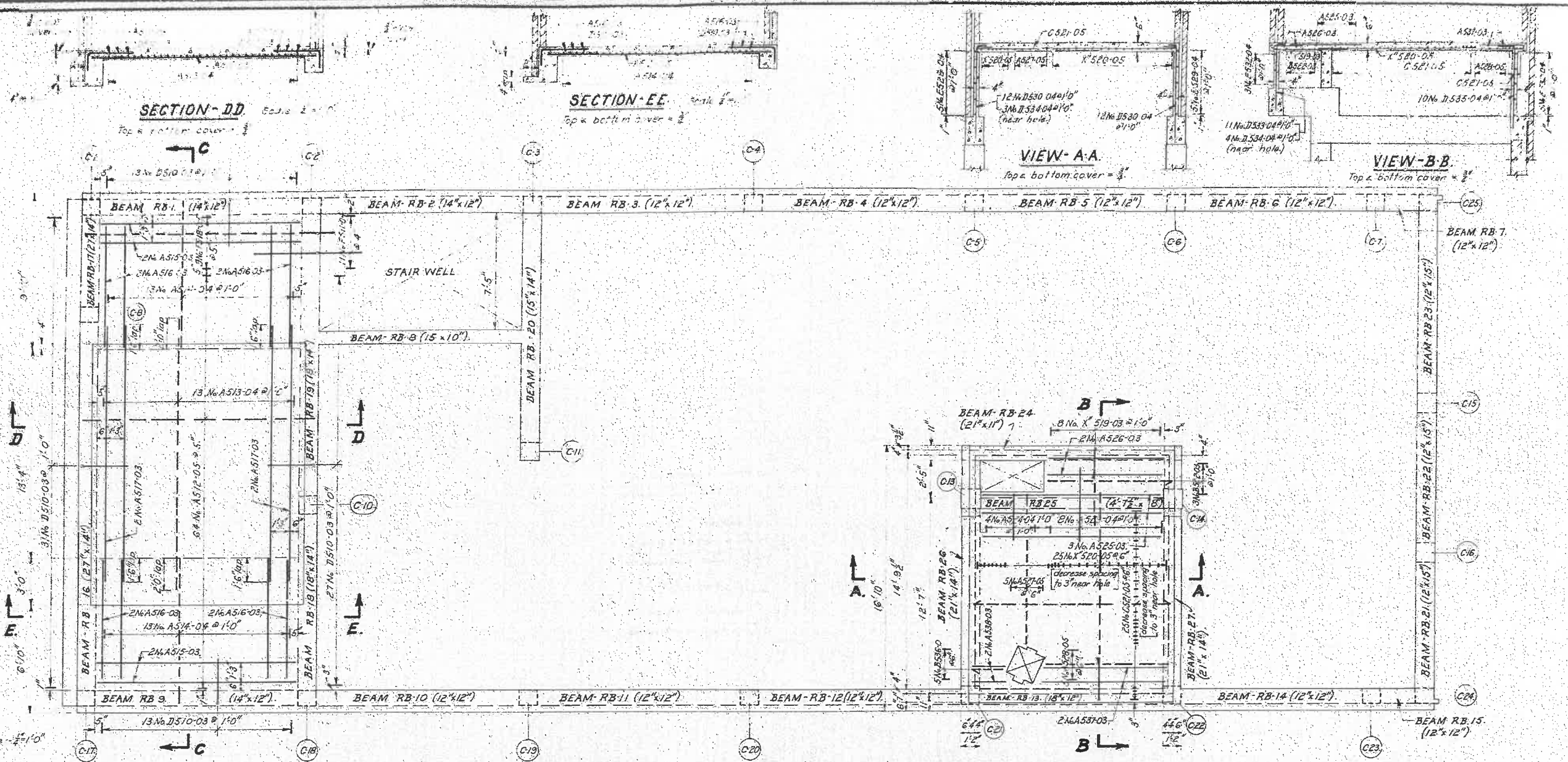
CARFOOTS PTY. LTD.

FIRST FLOOR BEAMS
REINFORCING DETAILS

DESIGNED BY: DRAWN BY: CHECKED BY: CHECKED BY:

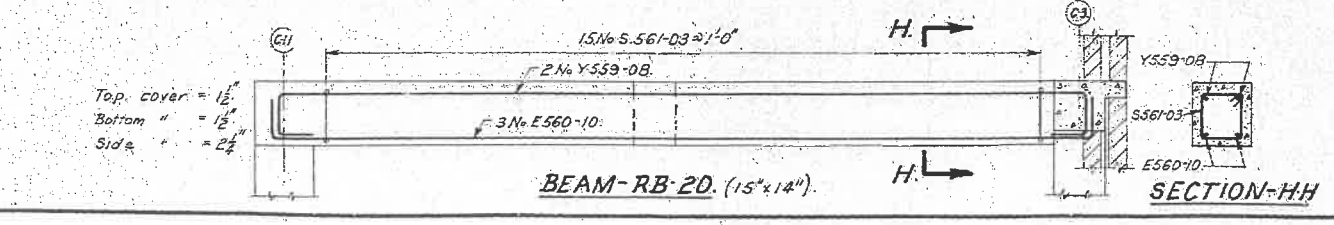
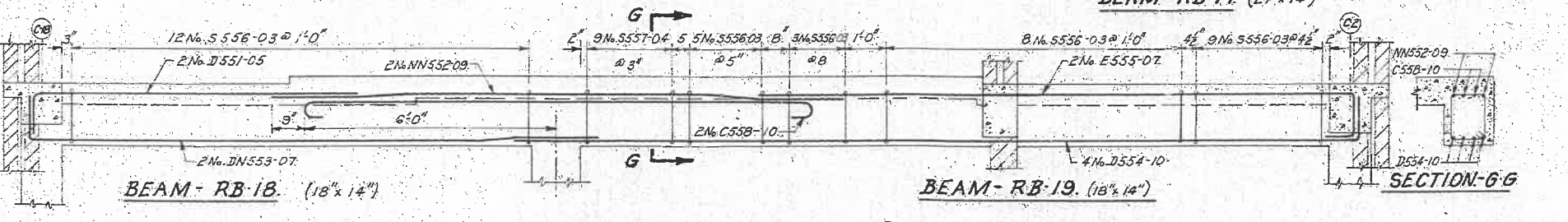
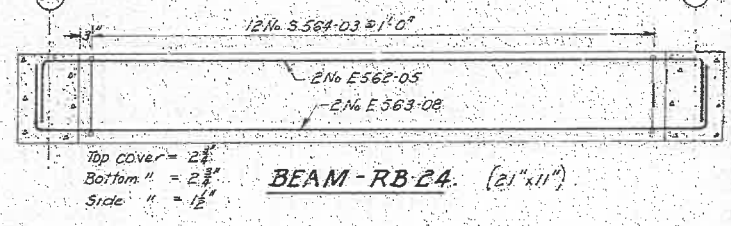
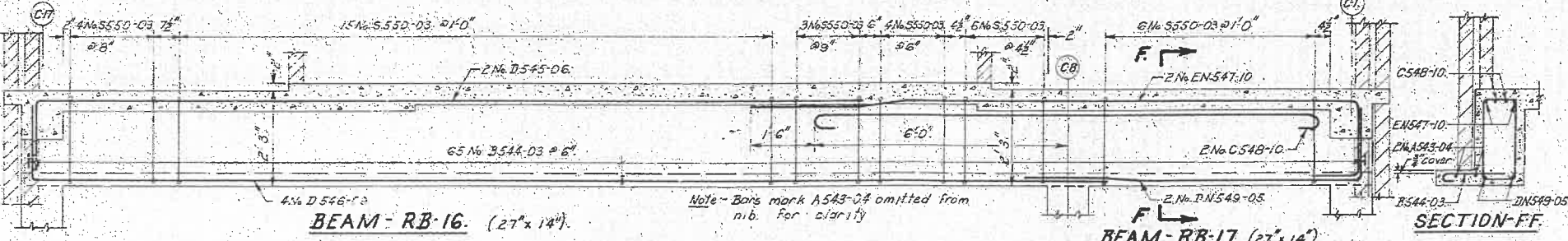
REVISIONS

1159



PLAN - SECOND FLOOR SLAB; LIFT MOTOR ROOF SLAB; ROOF BEAMS
Scale - 1/8" = 1'-0"

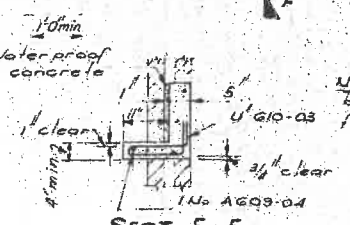
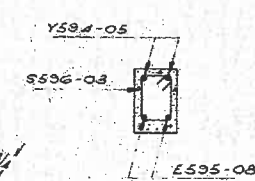
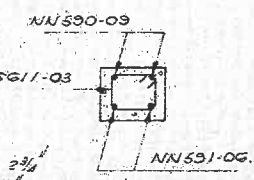
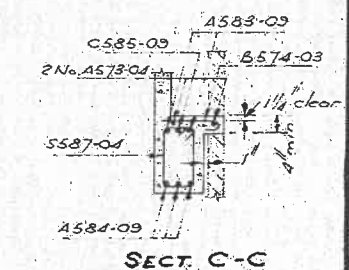
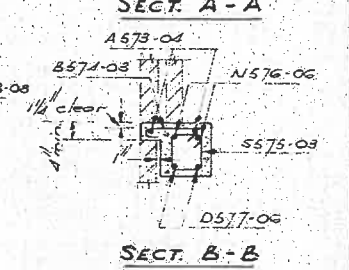
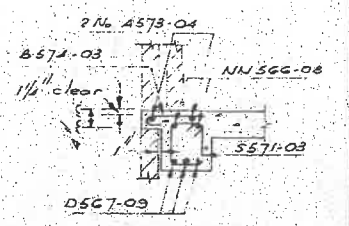
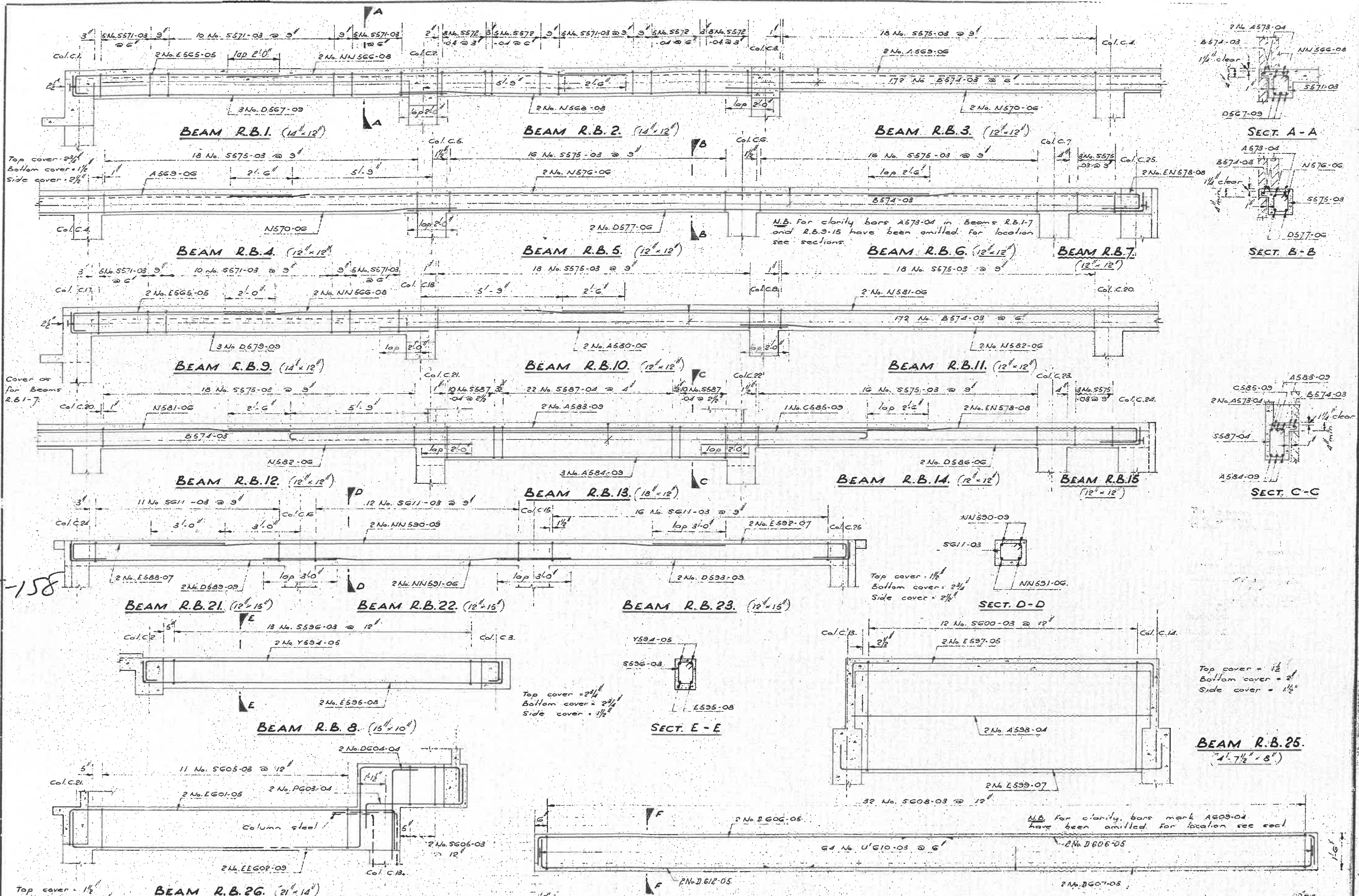
01-05-158



- NOTES.**
1. Scales - Slab Details - 1/4" = 1'-0"; Beam Details - 1/8" = 1'-0"
 2. Concrete shall have a minimum cylinder strength of 3000 lbs. per sq. inch at 28 days.
 3. This drawing shall be read in conjunction with "Standard Notes for reading Detailed Reinforced Concrete Drawings".
 4. For location of holes in Lift Motor Room Slab see Otis Elevator Co. P11's Draw No. LE40077 (5-138). Reinforcement shall be displaced within the slab (1/2 bar spacing reduced) to clear holes.
 5. For location of Truss Anchor Bolts see Architects Drawing.

D.B. GOODSIR & H.J. CARLYLE
ARCHITECT.
CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

CARFOOTS, PTX. LTD.
DETAIL OF 2ND FLOOR SLAB; LIFT MOTOR ROOM SLAB & ROOF BEAMS.
DESIGNED BY: DRAWN BY: CHECKED: CHECKED:
1161



01-05-158

Top cover = 1 1/2"
Bottom cover = 1 1/2"
Side cover = 2 1/2"

NOTES:

- Scale 1/8" = 1'-0"
- Concrete shall have a min. cylinder strength of 3000 lbs/sq.in. at 28 days
- Where beam dimensions are given as 18" x 12" they shall

- (cant) be read as 18" deep x 12" wide.
- This dwg. shall be read in conjunction with "Standard Notes for Reading Detailed Reinforced Concrete Drawg.

Water proof concrete

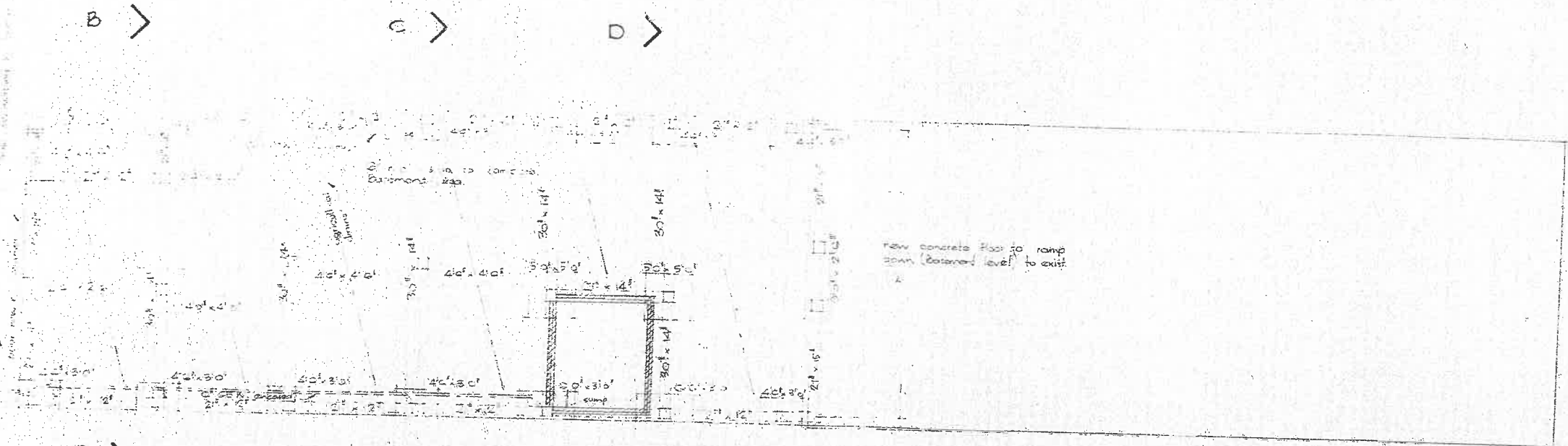
N.B. for clarity lintol bars have been omitted from section.

LINTOL BEAM (18" x 5")

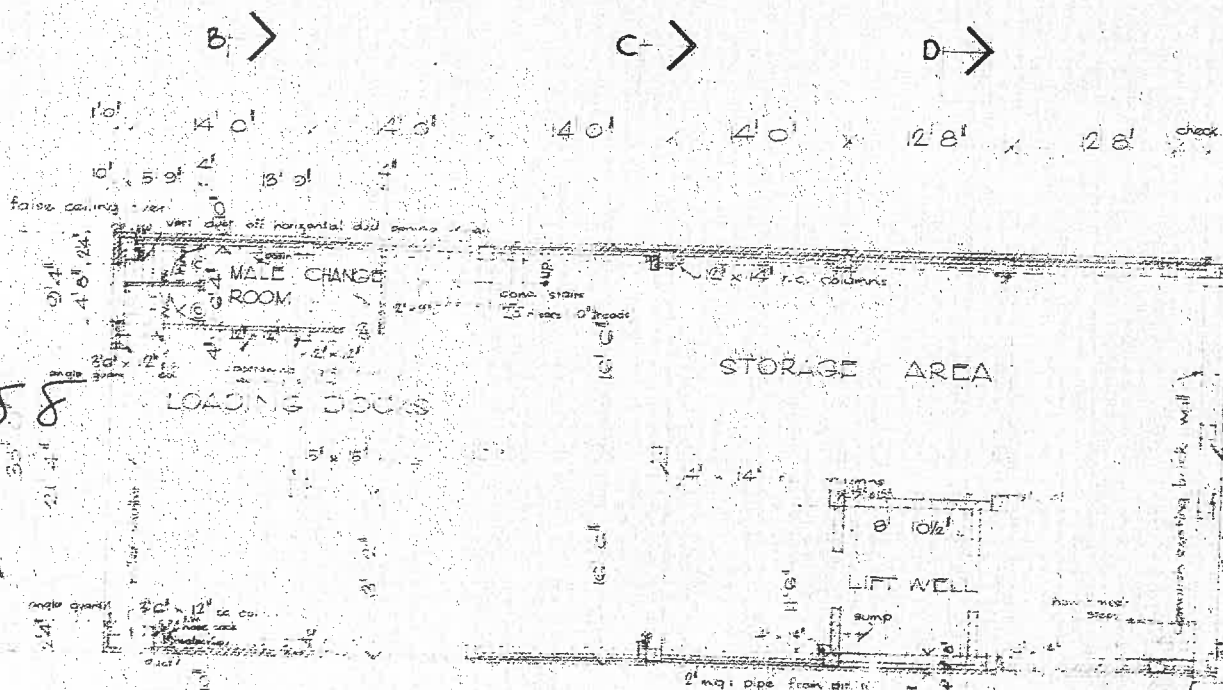
D.B. GOODSIR & H.J. CARLYLE
ARCHITECTS
CAMERON & McNAMARA
CONSULTING CIVIL ENGINEERS

CARFOOTS PTY. LTD
SECOND FLOOR BEAMS
REINFORCEMENT DETAILS

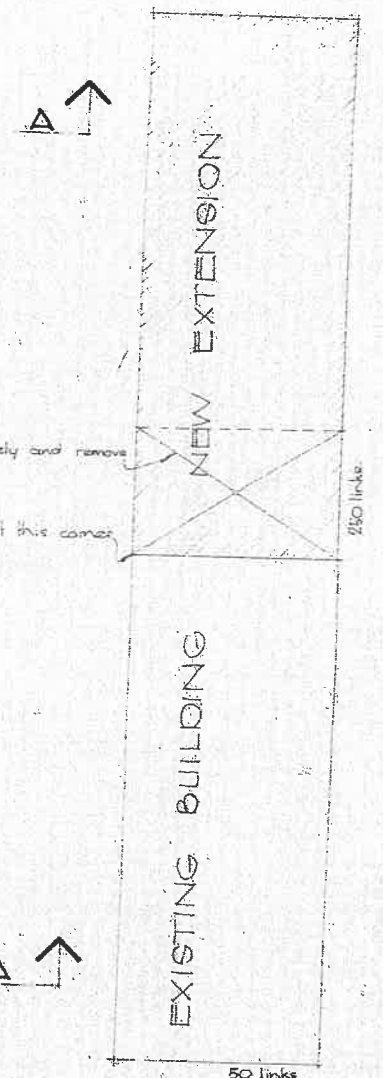
DESIGNED | DRAWN R.W.M.
CHECKED | CHECKED G.A.
1162



B → C → D →
FOUNDATION PLAN



B → C → D →
BASEMENT FLOOR PLAN



Flinders Street
SITE PLAN

Demolish existing Lintaim Dept completely and remove
Existing building encroaches 0.38 link at this corner

Existing building encroaches 0.38 link
Crack assignments with authorised Surveyor

Subject to all conditions and specifications with C.C. Co.

154-2-2
113898

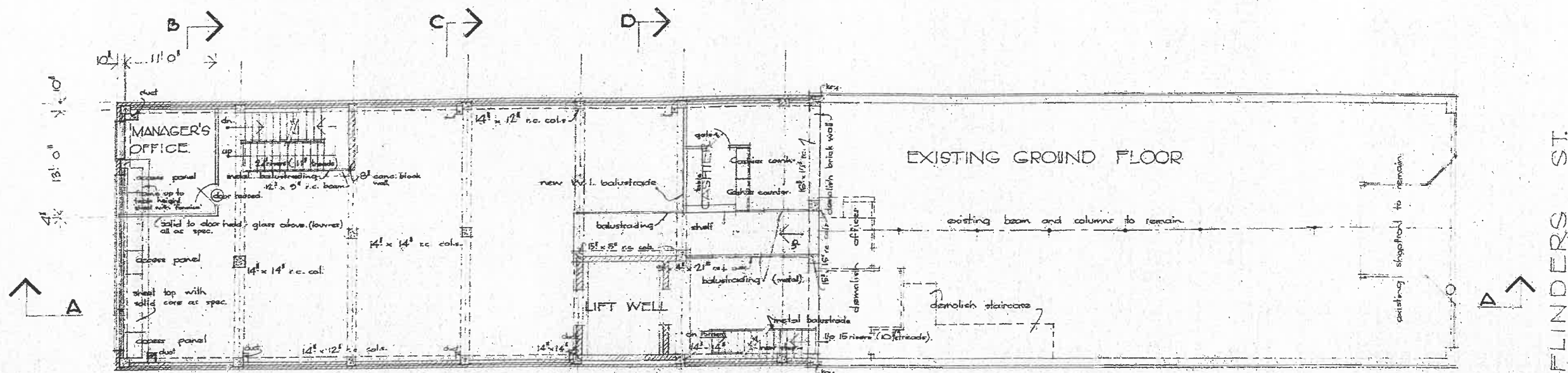
Scale: 1/8 inch = 1 foot

EXTENSIONS TO PREMISES FOR CARFOOTS PTY, LTD, TOWNVILLE.

Date: Nov 1950	WORKING DRAWINGS	Sheet No: 1 of 5
Scale: 1/8" = 1'		Drawing No: 707/2
Architects: E.B. GOOSIR and H.J. CARLYLE		
500 SWANN ROAD, 111 LINDA, BRISBANE, QUEENSLAND		

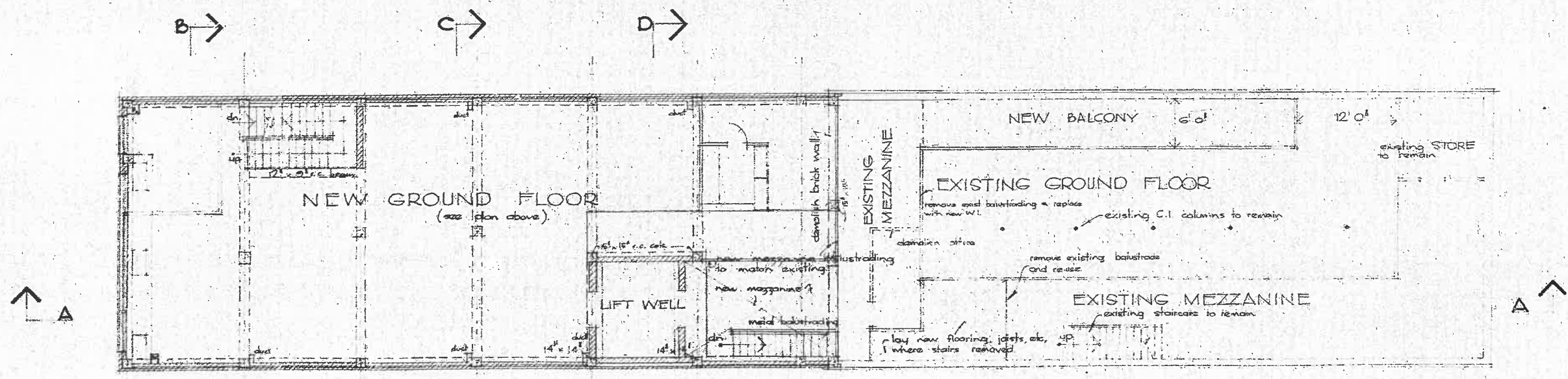
This drawing shall be read with close reference to the Specification, details and with all other drawings and instructions as may be issued. The Contractor shall check all dimensions and levels on the job. Refer to figured dimensions on this scale.

1-05-158



B → C → D →
 GROUND FLOOR PLAN

01-05-158



B → C → D →
 MEZZANINE FLOOR PLAN

FLINDERS ST.

This plan requires examination by the City Health Department. Conditions are, or are not attached.

City Health Officer
 Subject to all conditions precedent, these plans are approved by the Council of the City of Brisbane under its By-Laws.

City Engineer
 Building Fee
 Receipt No.

This plan requires examination by the City Health Department. Conditions are, or are not attached.

City Engineer
 Subject to all conditions precedent, these plans are approved by the Council of the City of Brisbane under its By-Laws.

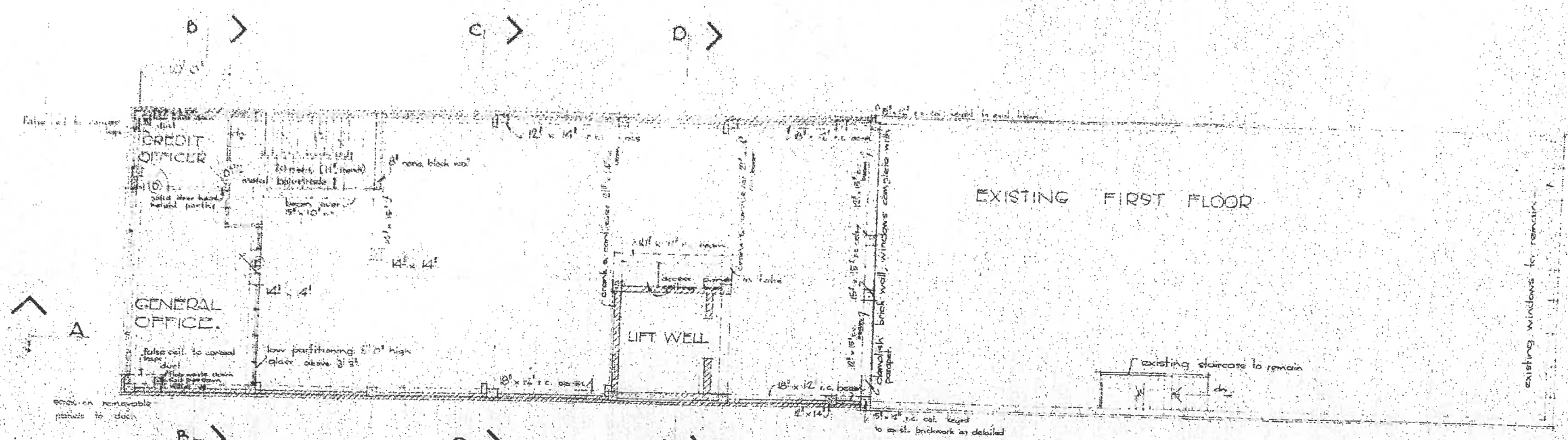
Building Fee
 Receipt No. 23898

EXTENSIONS TO PREMISES FOR
 CARFOOTS PTY, LTD, TOWNSVILLE.

Date: New 1950
 No. 707 3

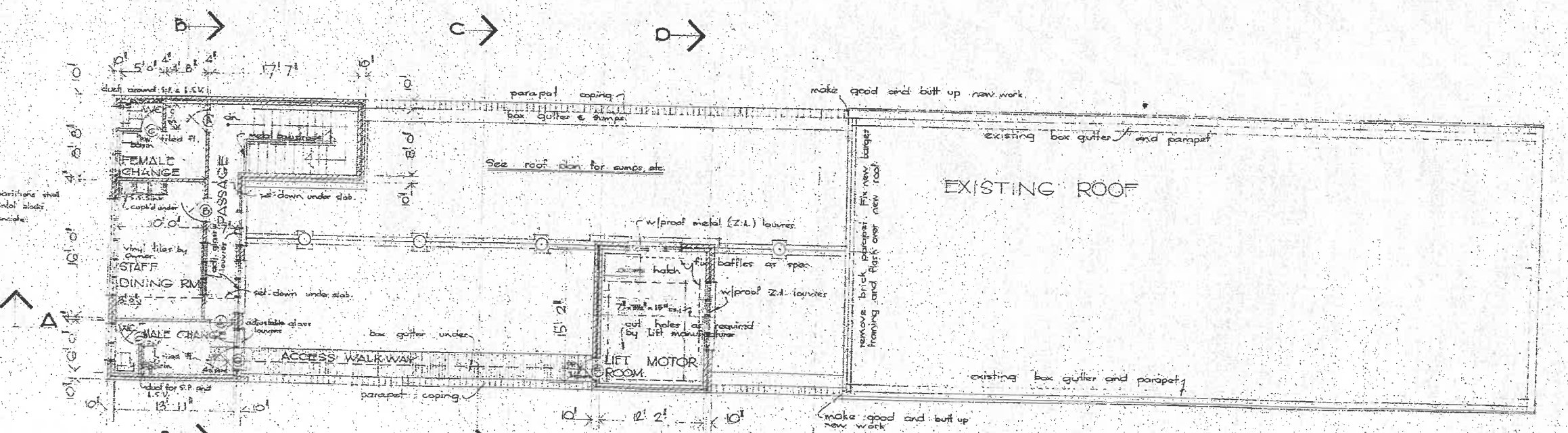
This drawing shall be read with close reference to the specifications, details and with all other relevant drawings and instructions on this project. The Contractor shall check all dimensions and levels on the job. Refer to request dimensions to be given.

57



FIRST FLOOR PLAN

01-05-158



SECOND FLOOR PLAN

This plan requires examination by the City Health Department. Conditions are/are not attached.

City Health Inspector
 Subject to conditions specified, these plans are approved by the Townsville City Council under its By-laws.

City Architect
 Building Fee _____
 Receipt No. _____

This plan requires examination by the City Health Department. Conditions are/are not attached.

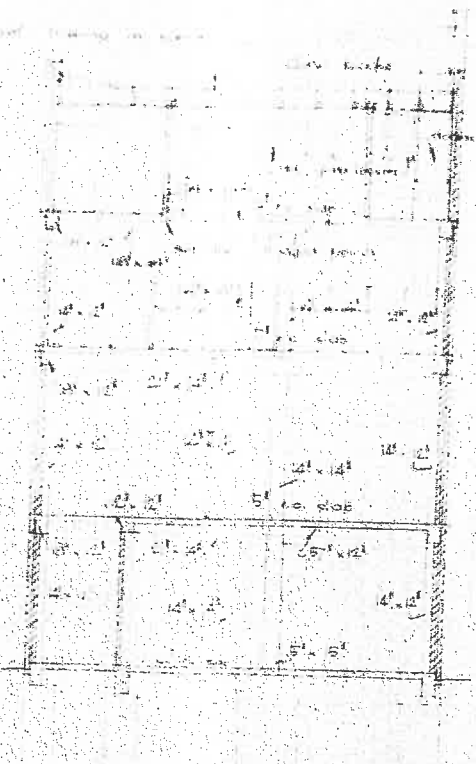
City Health Inspector
 Subject to conditions specified, these plans are approved by the Townsville City Council under its By-laws.

City Architect
 Building Fee 54
 Receipt No. 13898

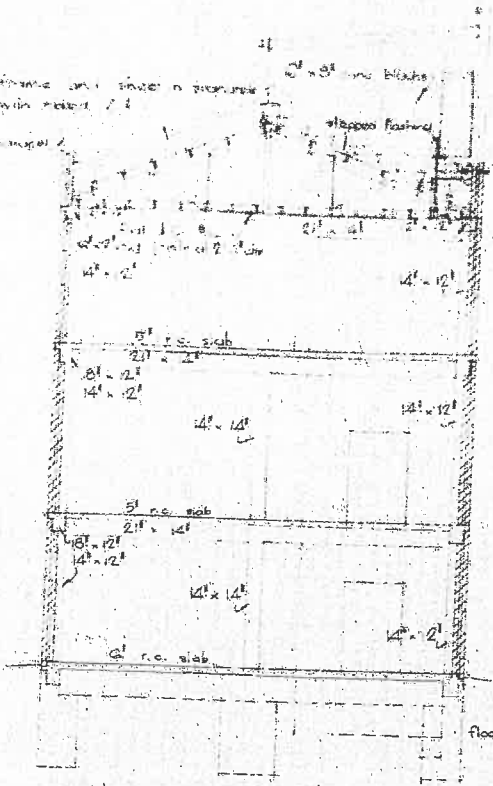
EXTENSIONS TO PREMISES FOR CARFOOTS PTY. LTD, TOWNSVILLE.

Date: Nov 1960	WORKING DRAWINGS	Sheet No. 3 of 5
Scale: 1/8" = 1'-0"		Drawing No. 707/4
Architects: P.B. COOBSIR and H.J. CARLYLE		
380 SWANN ROAD, ST. LUCIA, BRISBANE 7442		

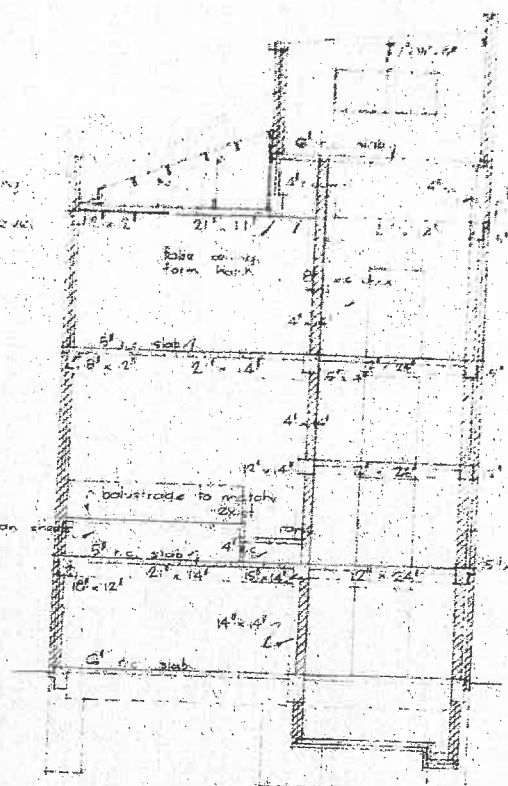
This drawing shall be read with close reference to the Specification, details, and with all other relevant drawings and instructions as may be issued. The Contractor shall check all dimensions and levels on the job. Refer to figured dimensions - do NOT scale.



SECTION B-B



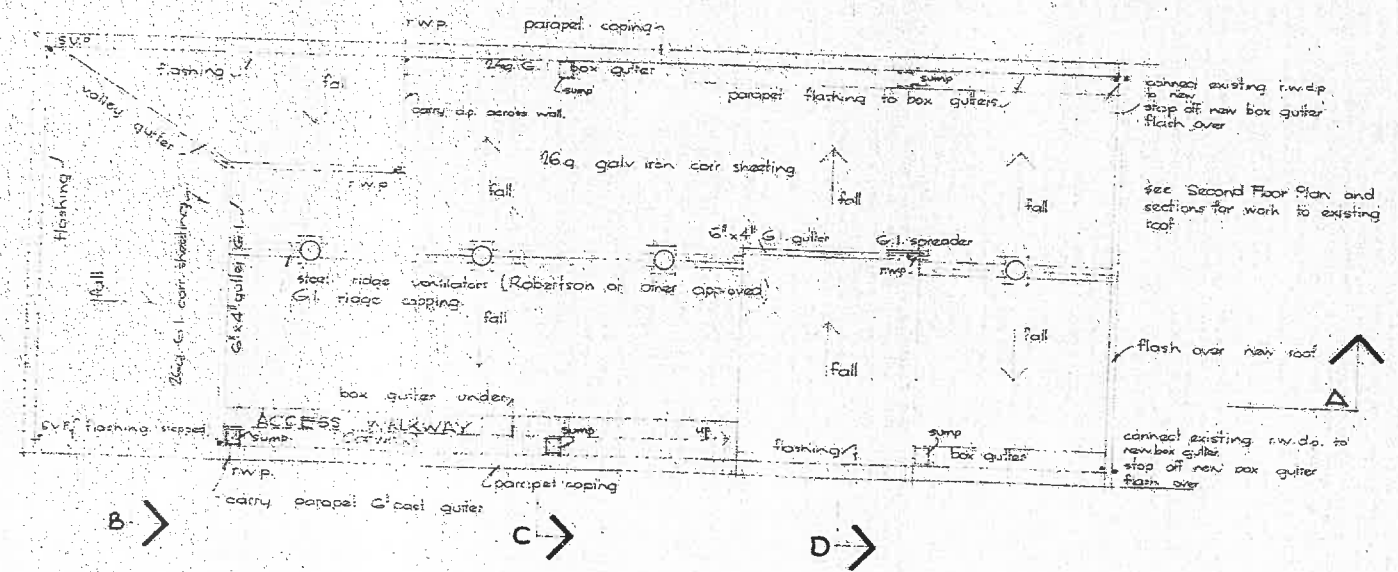
SECTION C-C



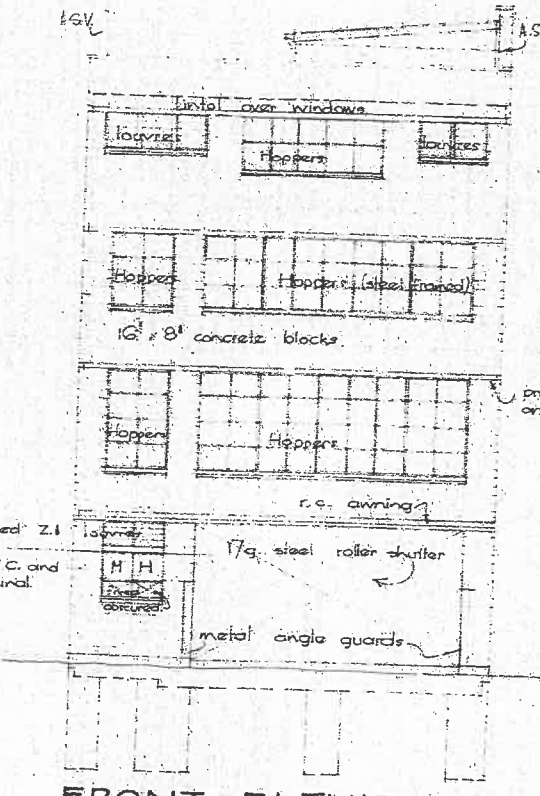
SECTION D-D

Note: Footings to finish 8'0" min below nat ground

01-05-158



ROOF PLAN



FRONT ELEVATION TO OGDEN STREET.

This drawing shall be read with close reference to the Specification, details, and with all other relevant drawings and instructions as may be issued. The Contractor shall check all dimensions and levels on the job. Refer to figured dimensions - do NOT scale.

subject to all conditions prescribed by the City of Brisbane Department of Public Works and Specifications and approved by the Townsville City Council under its By-laws.

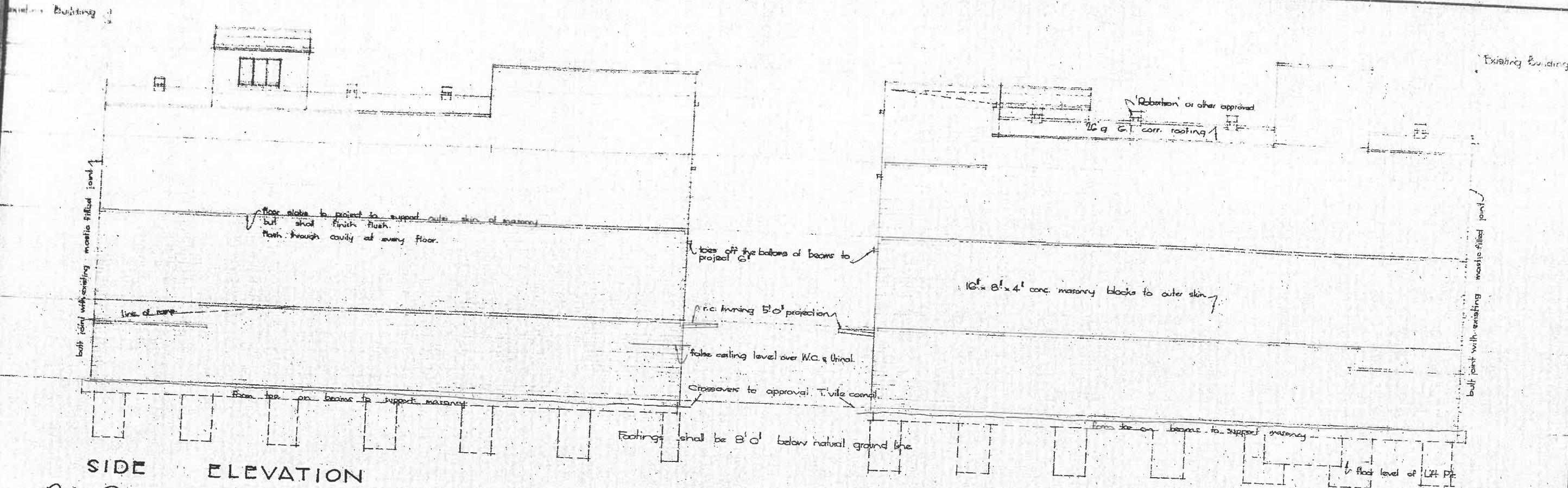
Building Fee \$ 43.98
Receipt No. 43398

EXTENSIONS TO PREMISES FOR CARFOOTS PTY. LTD. TOWNVILLE.

Date: Nov. 1960
Scale: 1/8" = 1'-0"

WORKING DRAWINGS Sheet 1 of 3
Drawing No. 707

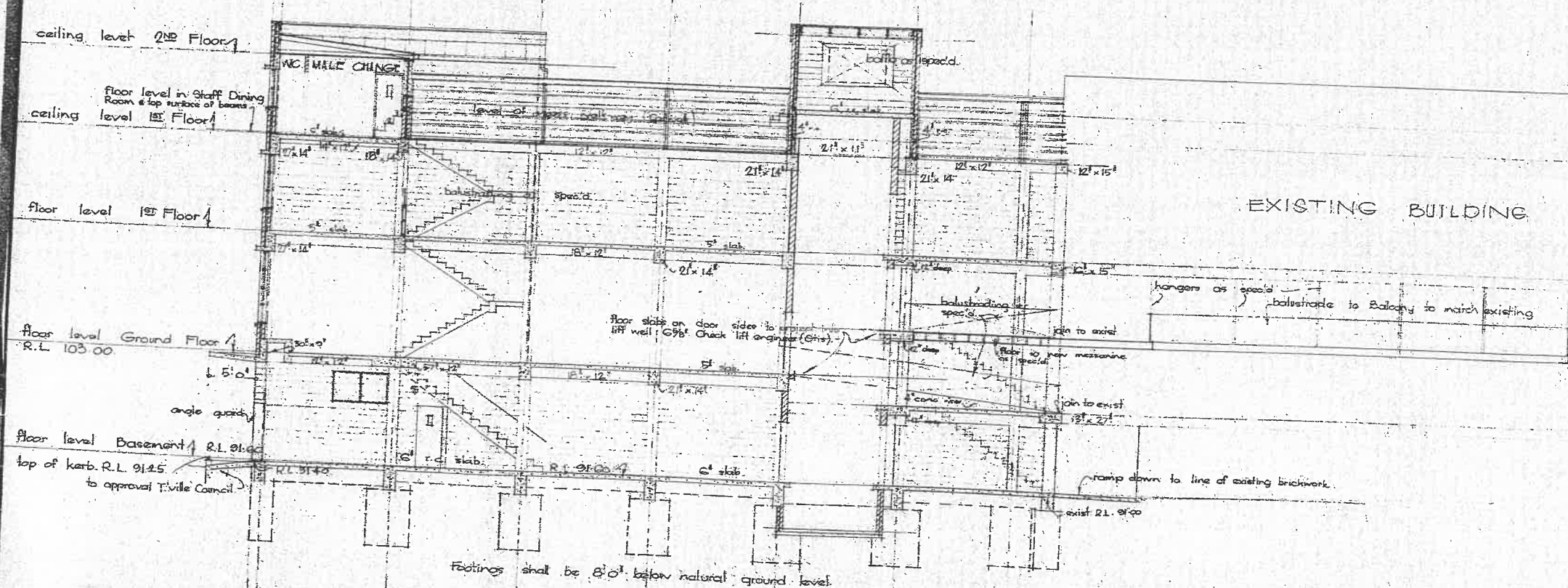
Architects: D. B. GOODSIR and P. J. CARVILLE
389 SWANN ROAD, ST. LUCA, BRISBANE



SIDE ELEVATION

SIDE ELEVATION

01-05-158



SECTION A-A

This plan requires examination by the City Health Department. Conditions apply as per approved.

This plan requires examination by the City Health Department. Conditions apply as per approved.

This plan requires examination by the City Health Department. Conditions apply as per approved.

Subject to all conditions specified, these plans and specifications are approved by the Townsville City Council under its By-laws.

Building Fee
Receipt No.

Existing 1st Floor level
Existing Mezzanine level
Existing Ground Floor level R.L. 100.00

EXTENSIONS TO PREMISES FOR CARFOOTS PTY, LTD, TOWNVILLE.

Date: Nov. 1960	WORKING DRAWINGS	Sheet No. 5 of 5
Scale: 1/8" = 1'-0"	Drawing No. 707, G.	
Architects: D.B. GOODSIR and H. L. COLEMAN		

This drawing shall be read with close reference to the Specification, details, and with all other relevant drawings and instructions as may be issued. The Contractor shall check all dimensions and levels on the job. Refer to figured dimensions - do NOT scale.



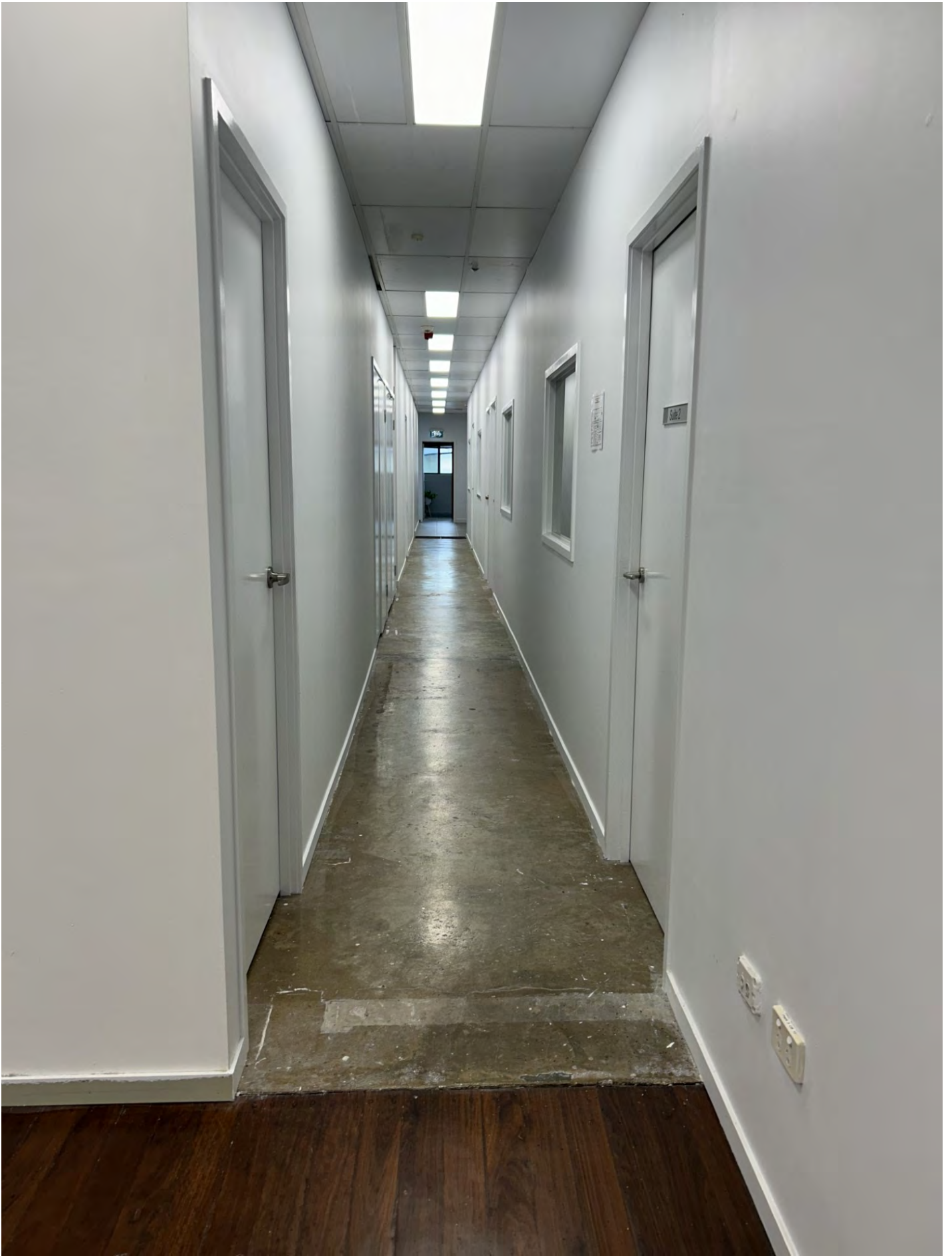
FMEU
Club NY

WARNING
This area is reserved for the use of the FMEU Club NY. No other vehicles or equipment are permitted to be parked in this area.

LOW

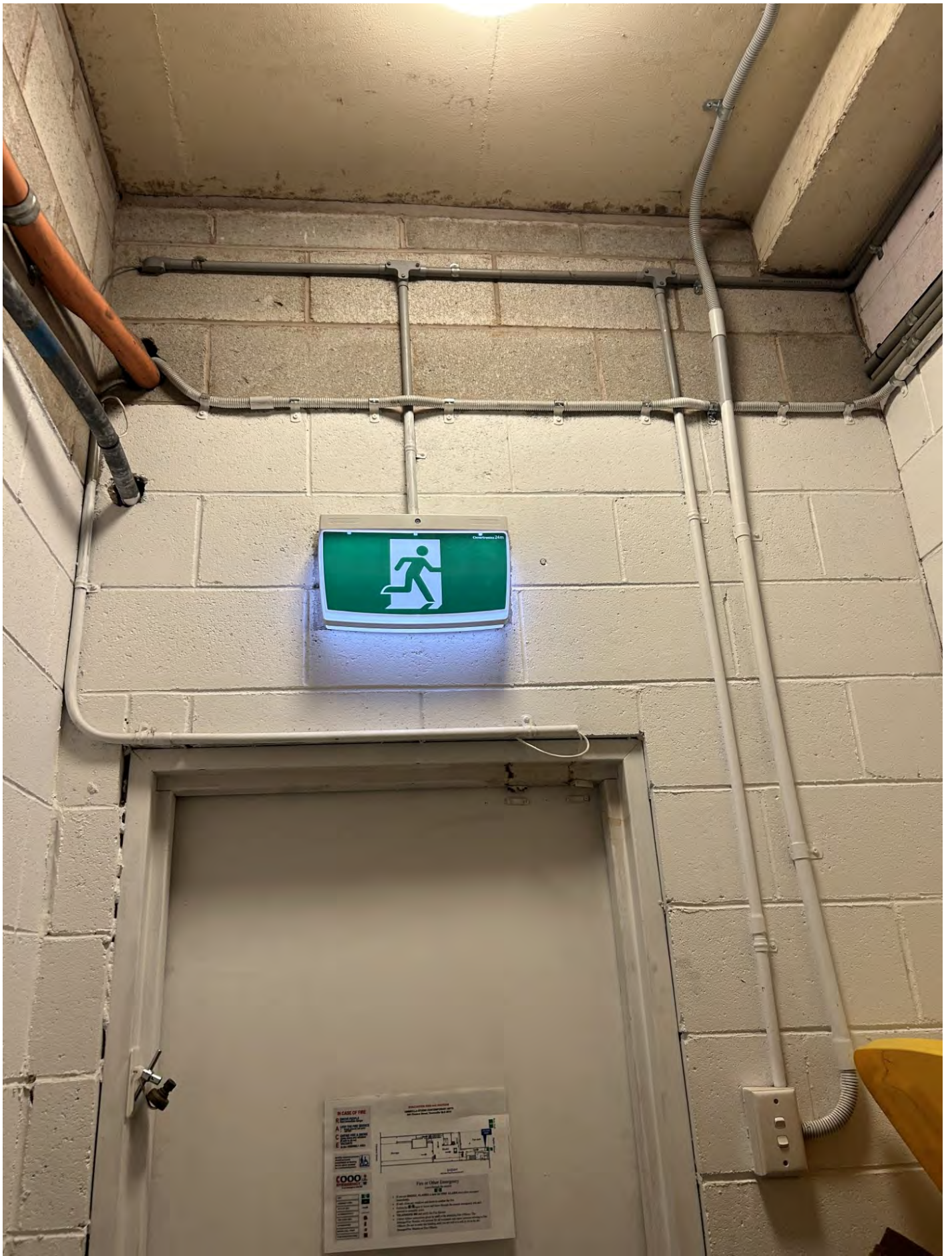














1960

1901



1960

1901



1901

1960



OVERFLOW
ON FLINDERS STREET →