



## Development Tribunal – Decision Notice

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### *Planning Act 2016, section 255*

<b>Appeal Number:</b>	<b>27 - 18</b>
<b>Appellant:</b>	Scott Doohan, Scott Doohan Developments.
<b>Assessment Manager:</b>	Steve Morley, Total Building Consult.
<b>Concurrence Agency:</b> (if applicable)	The Council of the City of Gold Coast.
<b>Site Address:</b>	138 Jefferson Lane, Palm Beach and described as Lot 0 on BUP 11547 – the subject s

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### **Appeal**

Appeal under section 229 and Schedule 1, section 1, Table 1, Item 1 of the Planning Act 2016 against the decision of the Assessment Manager, to refuse a development permit for building work for a Class 10a carport. The Council of the City of Gold Coast as the Concurrence Agency directed the Assessment Manager to refuse the application on the basis that the development conflicted with, and did not comply with, Performance Outcome P01 'Setbacks' of the Medium density residential zone of Section 6.2.2 of the City of Gold Coast City Plan Version 6.

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<b>Date and time of hearing:</b>	10.00am on Wednesday 3 October 2018.
<b>Place of hearing:</b>	Gold Coast City Council offices, Waterside East E2.2, 9 Holden Place Bundall.
<b>Tribunal:</b>	Don Grehan – Chair Murray Lane - Member
<b>Present:</b>	Scott Doohan, Scott Doohan Developments – Appellant Steve Morley, Total Building Consult – Appellant's representative Reza Iuchanet - Council representative Wiremu Cherrington - Council representative Peter Krook - Council representative

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### **Decision:**

The Development Tribunal (Tribunal), in accordance with section 254(2)(c) of the PA **replaces** the decision of Council to refuse the development application for building works to construct a Class 10a Carport, with a decision to allow the development application with siting and design of the structures as proposed in Architectural and Engineering plans marked 'Development Tribunal Appeal 27-18 Referenced Plans', Pages 1 to 8 attached to and forming part of this decision.

## **Background**

1. The Assessment Manager refused a development permit for building work in relation to a proposed Class 10a carport the siting of which was contrary to the road boundary setbacks identified as Acceptable Outcomes in the Medium Density Residential Zone Code of City of Gold Coast City Plan, Version 6, as the relevant assessment benchmark.
2. The Council, directing the refusal, considered that development conflicted with, and did not comply with, Performance Outcome P01 of the Medium Density Residential Zone Code of the City of Gold Coast City Plan Version 6 in that:
  - (a) the proposed development has not been designed cognisant of a 1.5 metre wide setback area measured from the front property boundary for the purpose of future road widening as applied by Council for other developments in Jefferson Lane. Such future road widening was requested by Council as Referral Agency in its Information Request dated 28 May 2018 and has not been incorporated into the submitted design; and
  - (b) the proposed development is considered potentially detrimental to the streetscape character of Jefferson Lane being a narrow road reserve containing substantial multi-level development. The specific width and height of the proposal is considered undesirable in terms of preferred open carport width and otherwise contributes to an undesirable level of amenity when viewed from that roadway.
3. The Appellant, dissatisfied with the refusal, lodged an appeal with the Development Tribunal Registry against the Decision of the Assessment Manager.

## **Jurisdiction**

4. Appeal made under the Planning Act 2016 (PA), section 229(1)(a)(i) and Schedule 1, section 1(2)(g) and Table 1, item 1(a) being an appeal by the Appellant (the Appellant) against the refusal of all or part of the development application by the Assessment manager (The Respondent) and the Concurrence Agency (The Co-respondent).

## **Decision framework**

5. Section 253 of the PA sets out matters relevant to the conduct of this appeal with subsections 253(2), 253(4) and 253(5) confirming specific aspects.
6. Section 253(2) of the PA confirms that generally, the appellant must establish the appeal should be upheld.
7. Section 253(4) of the PA confirms that the tribunal must hear and decide the appeal by way of a reconsideration of the evidence that was before the person who made the decision appealed against.
8. Section 253(5) of the PA however confirms that the tribunal may, but need not, consider-
  - (a) other evidence presented by a party to the appeal with leave of the tribunal; or
  - (b) any information provided under section 246.
9. Section 246 of the PA provides that the Registrar may, at any time, ask a person to give the registrar any information that the registrar reasonably requires for the proceedings; and
10. Section 254 of the PA deals with how this appeal may be decided and the first three subsections of that section are as follows:

- (1) This section applies to an appeal to a tribunal against a decision.
- (2) The tribunal must decide the appeal by -
  - (a) confirming the decision; or
  - (b) changing the decision; or
  - (c) replacing the decision with another decision; or
  - (d) setting the decision aside, and ordering the person who made the decision to remake the decision by a stated time; or
  - (e) for a deemed refusal of an application-
    - (i) ordering the entity responsible for deciding the application by a stated time and, if the entity does not comply with the order, deciding the application; or
    - (ii) deciding the application.
- (3) However, the tribunal must not make a change, other than a minor change, to a development application.

11. Section 254(3) uses the expression 'minor change' and that expression is defined relevantly in Schedule 2 of the PA as follows:

**minor change** means a change that—

- (a) for a development application—
  - (i) does not result in substantially different development; and
  - (ii) if the application, including the change, were made when the change is made—would not cause—
    - (A) the inclusion of prohibited development in the application; or
    - (B) referral to a referral agency if there were no referral agencies for the development application; or
    - (C) referral to extra referral agencies; or
    - (D) a referral agency to assess the application against, or have regard to, matters prescribed by regulation under section 55(2), other than matters the referral agency must have assessed the application against, or have had regard to, when the application was made; or
    - (E) public notification if public notification was required for the development application;

12. Schedule 1 of the Development Assessment Rules (DARs) refers to the 'minor change' aspect as follows:

- (a) An assessment manager or responsible entity may determine that the change is a minor change to a development application or development approval, where – amongst other criteria – a minor change is a change that would not result in 'substantially different development'.
- (b) An Assessment Manager or responsible entity must determine if the proposed change would result in substantially different development for a change –
  - (a) made to a proposed development application the subject of a response given under section 57(3) of the Act and a properly made application;
  - (b) made to a development application in accordance with Part 6;
  - (c) made to a development approval after the appeal period.

13. In determining whether the proposed change would result in a substantially different development, the assessment manager or referral agency must consider the individual circumstances of the development, in the context of the change proposed (DARs schedule 1).

14. Under the DARs, schedule 1, a change may be considered to result in a substantially different development if any of the following apply to the proposed change:
- (a) involves a new use; or
  - (b) results in the application applying to a new parcel of land; or
  - (c) dramatically changes the built form in terms of scale, bulk and appearance; or
  - (d) changes the ability of the proposed development to operate as intended; or
  - (e) removes a component that is integral to the operation of the development; or
  - (f) significantly impacts on traffic flow and the transport network, such as increasing traffic to the site; or
  - (g) introduces new impacts or increase the severity of known impacts; or
  - (h) removes an incentive or offset component that would have balanced a negative impact of the development; or
  - (i) impacts on infrastructure provisions.

### **Amended Drawings**

15. Following discussions at the hearing, amended architectural and engineering drawings to better address streetscape character and other specific concerns regarding future development within the vicinity if the subject were submitted to the Tribunal by the appellant and these drawings were then distributed to all parties via the Registrar.

### **Material Considered**

The material considered in arriving at this decision comprises:

- 16. 'Form 10 – Appeal Notice', grounds for appeal and correspondence accompanying the appeal lodged with the Tribunals Registrar on the 4<sup>th</sup> of July 2018.
- 17. Plans and Specification for the proposed carport as submitted to the Assessment Manager.
- 18. Council of the City of Gold Coast referral response as the Concurrence Agency dated the 19<sup>th</sup> of June 2018, Reference Number PN91952/04/02 BLD201805424.
- 19. Development Application Decision Notice – Refusal – Reference Number 00009889 from Assessment Manager, dated the 20<sup>th</sup> of June 2018.
- 20. The *Planning Act Planning Act 2016*.
- 21. The *Building Act 1975*.
- 22. The *Building Regulation 2006*.
- 23. The *Gold Coast City Plan, Version 6*.
- 24. Verbal submissions from the Appellant. at the hearing.
- 25. Verbal submissions from Council representatives at the hearing.
- 26. Amended Plans for the proposed works as submitted by the Appellant (allowed into evidence with the tribunal's leave).

### **Findings of Fact**

26. The subject site is a 405m<sup>2</sup> non-uniform rectangular shaped allotment situated to western side the west Jefferson Lane, in an established residential area of Palm Beach.

27. An existing four storey duplex is located on the subject site.
  28. The Appellant proposes to construct a 10m wide x 6.1m deep carport which would result in zero setback from Jefferson Lane which would be contrary to the road boundary setbacks identified as Acceptable Outcomes in the Medium Density Residential Zone Code of City of Gold Coast City Plan, Version 6, as the relevant assessment benchmark.
  29. The subject site is zoned Medium Density Residential under the *Gold Coast City Plan* is *Version 6*.
  30. Relevant to the subject building development application, the City of Gold Coast's jurisdiction is limited to its Referral Agency functions under Section 33 of the *Building Act 1975* in relation to assessing whether the proposed building or structure complies with the quantifiable standards under the *Gold Coast City Plan* in respect of boundary clearances.
  31. The *Building Regulation 2006* in Part 3, nominates the Queensland Development Code, as setting out the standard siting requirements for buildings and structures, except where the *Gold Coast City Plan* identifies an alternative siting provision.
  32. The applicable version of the *Gold Coast City Plan* is *Version 6*, which became effective on 3 July 2017. Part 1.5 of the *Gold Coast City Plan Version 6* details the relationship between the *Building Act 1975* and the *Queensland Development Code*. In particular, 'Table 1.5-1: Building assessment provisions' details the relevant codes for proposed alternatives to the *Queensland Development Code's* boundary clearance provisions:
  33. The *Gold Coast City Plan Version 6* identifies the subject site as being in the Medium Density Residential Zone and subject to the Coastal Erosion Hazard Overlay – Foreshore Seawall (Foreshore seawall setback).
  34. According to Table 1.5-1: Building assessment provisions of the *Gold Coast City Plan Version 6* the relevant codes are:
    - (i) Medium Density Residential Zone Code
    - (ii) Coastal Erosion Hazard Overlay Code
- Noting that in the event of an inconsistency between the zone code and the overlay code, the overlay code prevails.
35. The relevant assessment provisions to assess alternative 'boundary clearance provisions' are set out in the Medium Density Residential Zone Code of the *Gold Coast City Plan Version 6* and are limited to PO1 and AO1.
  36. It is evident in the application material that the Coastal Erosion Hazard Overlay Code was addressed by the assessment manager to the satisfaction of the referral agency, and that the building development application complies with this code.
  37. Performance Outcome P01 'Setbacks' of the Medium density residential zone of Section 6.2.2 of the City Plan requires that setbacks:
    - (a) assist in the protection of adjacent amenity;
    - (b) allow for access around the building;
    - (c) contribute to the streetscape character; and
    - (d) allow for on-site car parking.
  38. The relevant performance Outcomes do not include provision for the consideration of future road widening.

39. A number of building and structures of similar size and dimension, being Class 10a non-habitable private garages, carports, sheds, or the like are situated in Jefferson Lane and share similar reduced road boundary setbacks to that proposed on the subject site.

### **Reasons for the Decision**

40. The tribunal, having considered the extent and nature of the revised design illustrated in the amended drawings, is satisfied that they reflected only a 'minor change' to the original proposal (in terms of section 254(3) of the PA) for the following reasons:

The amended proposal will not result in a substantially different development as it will not:

- (a) involve a new use - as the use remains the same;
- (b) result in the application applying to a new parcel of land;
- (c) dramatically change the built form in terms of scale, bulk and appearance;
- (d) change the ability of the proposed development to operate as intended; or
- (e) remove a component that is integral to the operation of the development.

41. The tribunal, having considered the revised design illustrated in the amended drawings, and the streetscape in the vicinity of the subject site, is satisfied that the proposed carport meets Performance Outcome PO1 of the Medium Density Residential Zone Code of City of Gold Coast City Plan Version 6 in so far that:

- (i) the benign nature of its use has no effect in relation to the amenity of adjoining properties;
- (ii) its proposed location does not prohibit or limit access around the building;
- (iii) its design contributes to the streetscape character as equally as other similarly sited carports and garages in the direct vicinity; and
- (iv) it provides adequately for on-site car parking.

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**Don Grehan**  
**Development Tribunal Chair**  
**Date: 12 March 2019**

## **Appeal Rights**

Schedule 1, Table 2 (1) of the *Planning Act 2016* provides that an appeal may be made against a decision of a Tribunal to the Planning and Environment Court, other than a decision under section 252, on the ground of -

- (a) an error or mistake in law on the part of the Tribunal; or
- (b) jurisdictional error.

The appeal must be started within 20 business days after the day notice of the Tribunal decision is given to the party.

The following link outlines the steps required to lodge an appeal with the Court.

<http://www.courts.qld.gov.au/courts/planning-and-environment-court/going-to-planning-and-environment-court/starting-proceedings-in-the-court>

## **Enquiries**

All correspondence should be addressed to:

The Registrar of Development Tribunals  
Department of Housing and Public Works  
GPO Box 2457  
Brisbane QLD 4001

**Telephone (07) 1800 804 833 Facsimile (07) 3237 1248**

**Email: [registrar@hpw.qld.gov.au](mailto:registrar@hpw.qld.gov.au)**



Revisions :		
A	CONCEPT PLANS	14.01.2018
B	SUBMISSION SET	06.02.2018
E	ROOF AMENDMENT	06.10.2018

ALL CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS & BCA.  
 FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING.  
 THESE PLANS ARE TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE REPORT AND ITS REQUIREMENTS.  
 THE DEVELOPMENT IS TO MAINTAIN EROSION SEDIMENTATION CONTROL.  
 LANDSCAPING TO BE IN ACCORDANCE WITH BASIX REQUIREMENTS.

Client Name : JEFFERSON RESIDENCE  
 Client Address : 138 JEFFERSON LANE PALM BEACH  
 LOT / RP: 0 / 11547

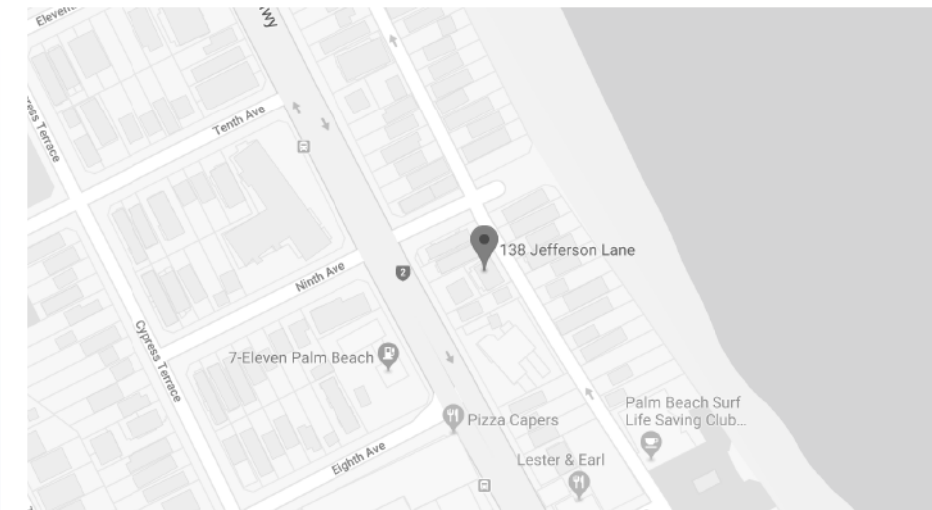
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Project Name :ALTS & ADDITIONS  
 Drawing Title: COVER PAGE  
 Drawn By: LS  
 Status : CONCEPT  
 Scale :  
 Revision : E  
 Drawing No. : 1

# CARPORT ADDITION

## SUBMISSION SET 138 JEFFERSON LANE, PALM BEACH



DRAWINGS		
#	NAME	rev.
1	COVER PAGE	E
2	SITE PLAN	E
3	GROUND FLOOR PLAN	E
4	ELEVATIONS	E
5	ELEVATIONS	E





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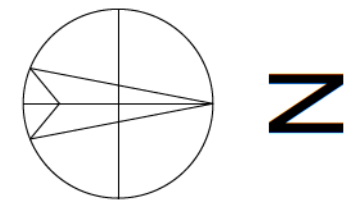
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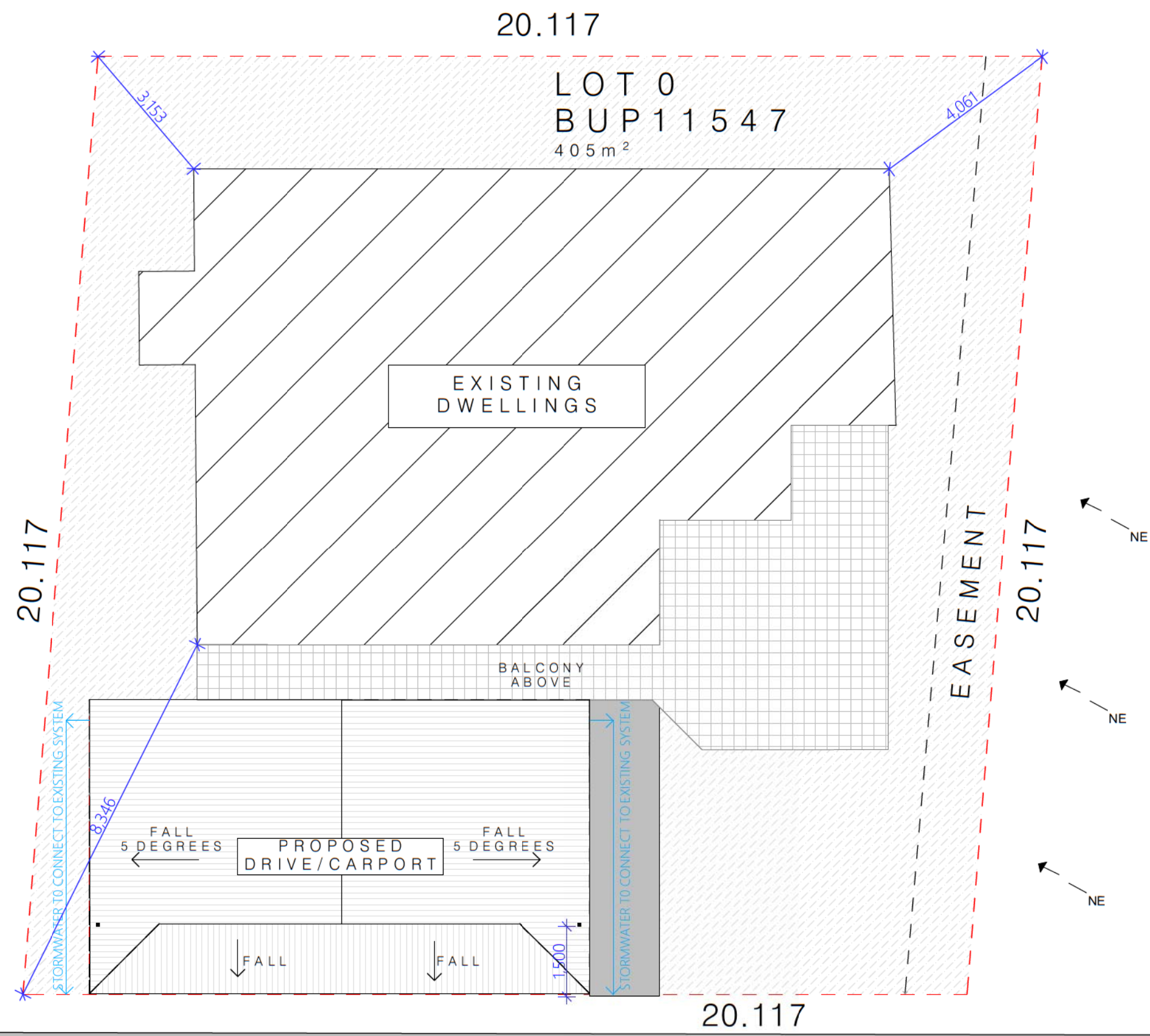
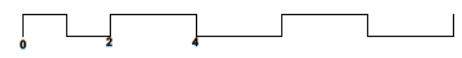
Drawing Title: SITE PLAN  
 Drawn By: LS  
 Status : CONCEPT  
 Scale : 1:100  
 Revision : E  
 Drawing No. : 2

AREAS	
TOTAL SITE AREA	405m <sup>2</sup>
TOTAL FLOOR AREA	137m <sup>2</sup>
FLOOR SPACE RATIO (FSR)	0.33 : 1 (33.8%)
TOTAL HARD SURFACES	200m <sup>2</sup>
TOTAL LANDSCAPED AREA	205m <sup>2</sup>
LANDSCAPED OPEN SPACE	50.6%



← NE = SUMMER SEA BREEZE

- = Proposed
- ▨ = Existing
- = To owner
- ▨ = Landscape Open Space
- = Hard Surfaces
- = Boundary Setbacks



JEFFERSON LANE



Revisions :

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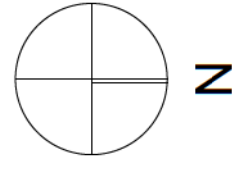
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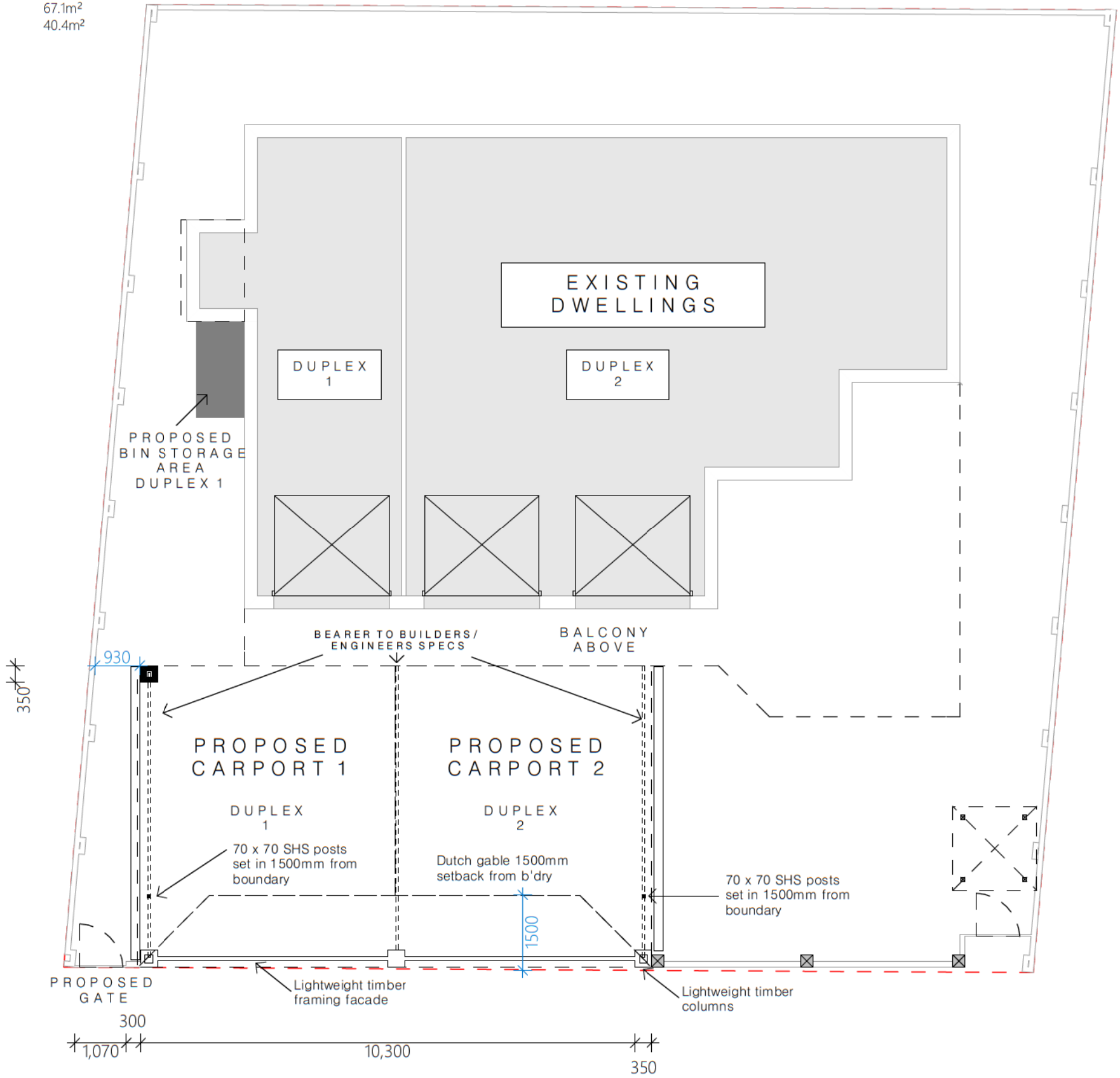
Project Name :ALTS & ADDITIONS  
 Drawing Title: GROUND FLOOR PLAN  
 Drawn By: LS  
 Status : CONCEPT  
 Scale : 1:100  
 Revision : E  
 Drawing No. : 3

AREAS

EXISTING FLOOR AREA	137m <sup>2</sup>
PROPOSED CARPORT AREA	67.1m <sup>2</sup>
EXISTING BALCONY AREA	40.4m <sup>2</sup>



- = Existing
- = Demolition
- = Proposed
- = Boundary Setbacks





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Project Name :ALTS & ADDITIONS

Drawing Title: ELEVATIONS

Drawn By: LS

Status : CONCEPT

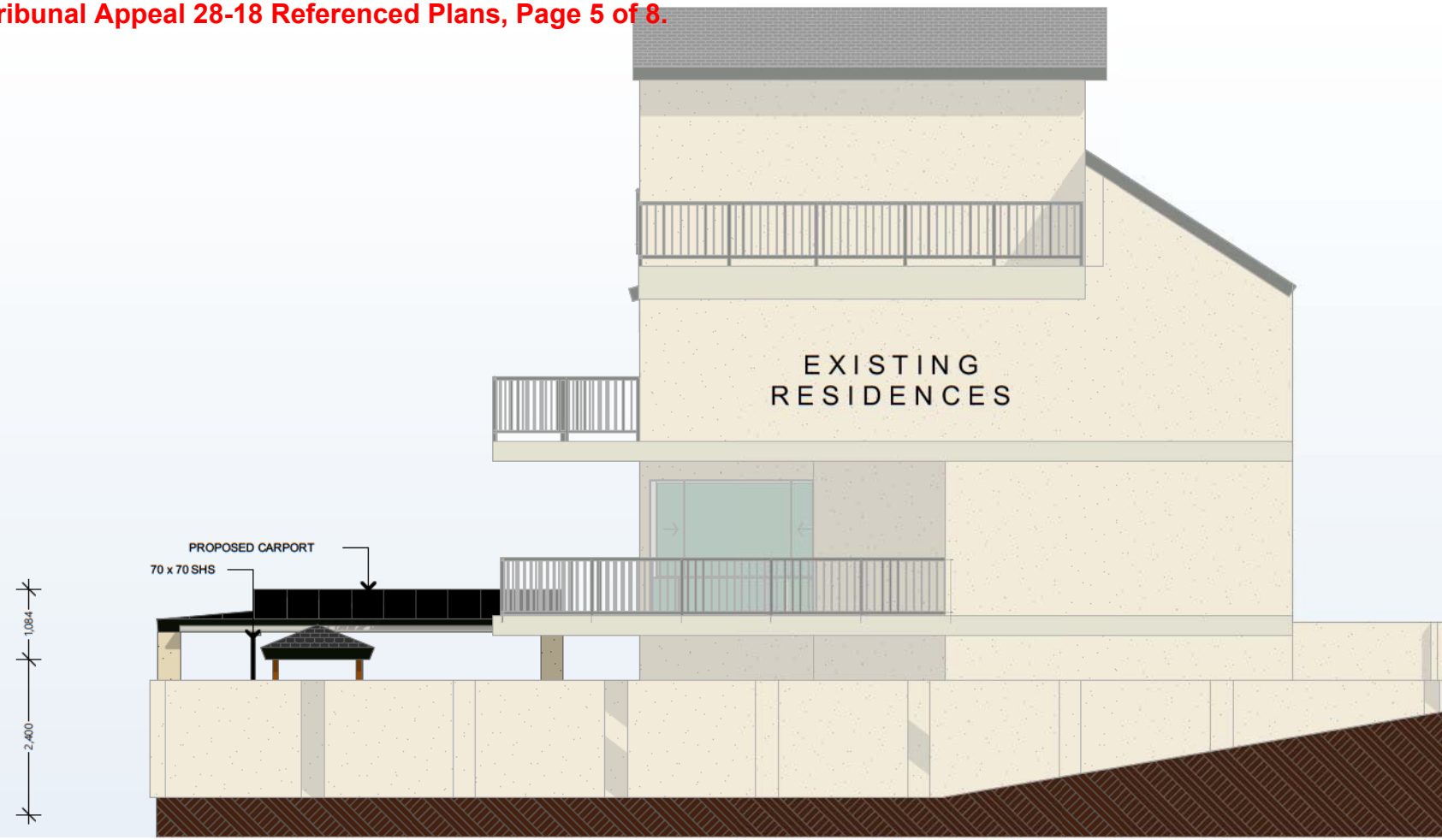
Scale : 1:100

Revision : E

Drawing No. : 4



1 EAST ELEVATION 1:100



NORTH ELEVATION

1

1:100



SOUTH ELEVATION

2

1:100



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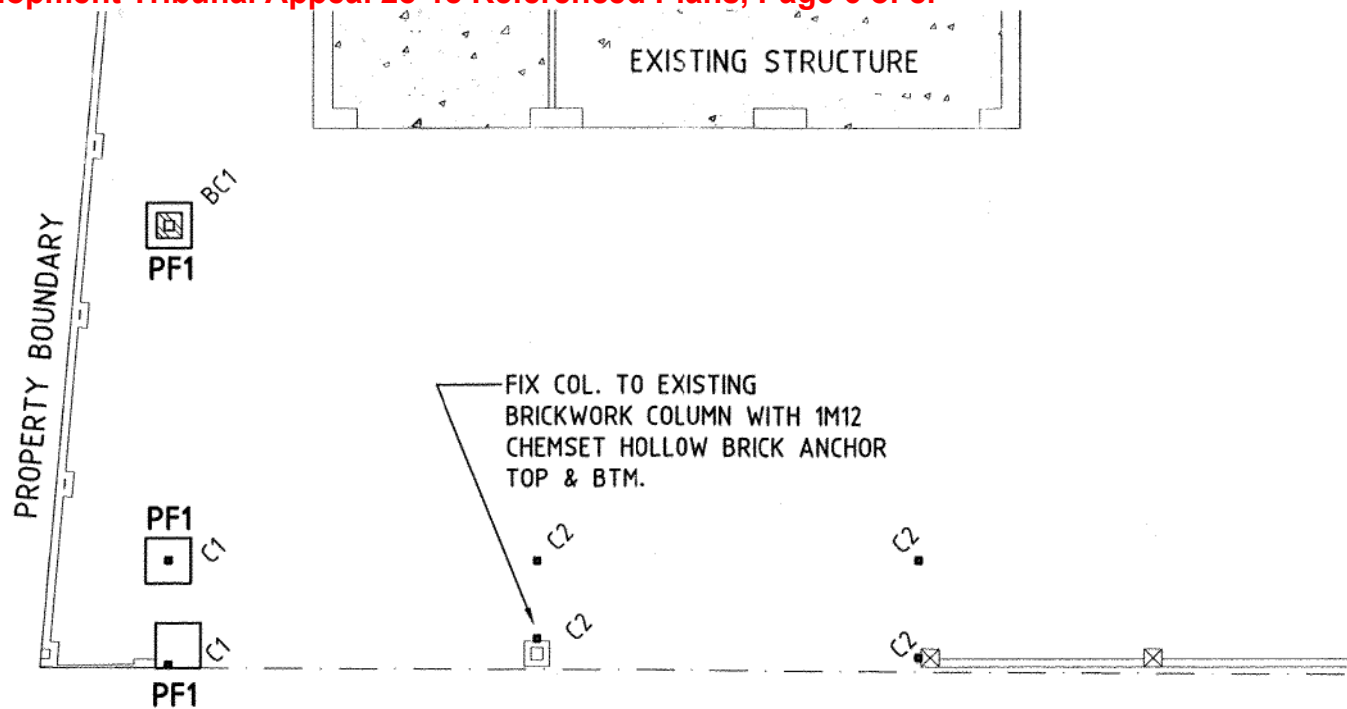
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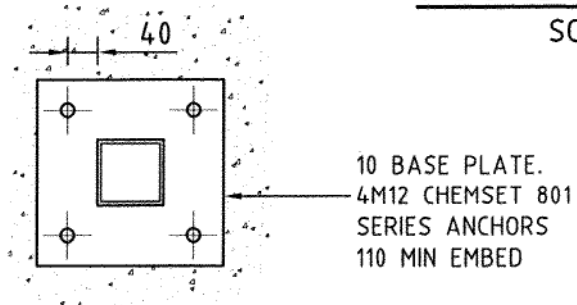


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Drawing Title:	ELEVATIONS
Drawn By:	LS
Status :	CONCEPT
Scale :	1:100
Revision :	E
Drawing No. :	5



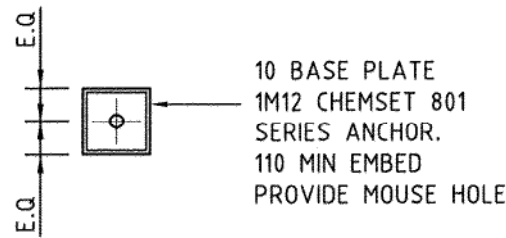
**FOUNDATIONS PLAN**

SCALE 1:100



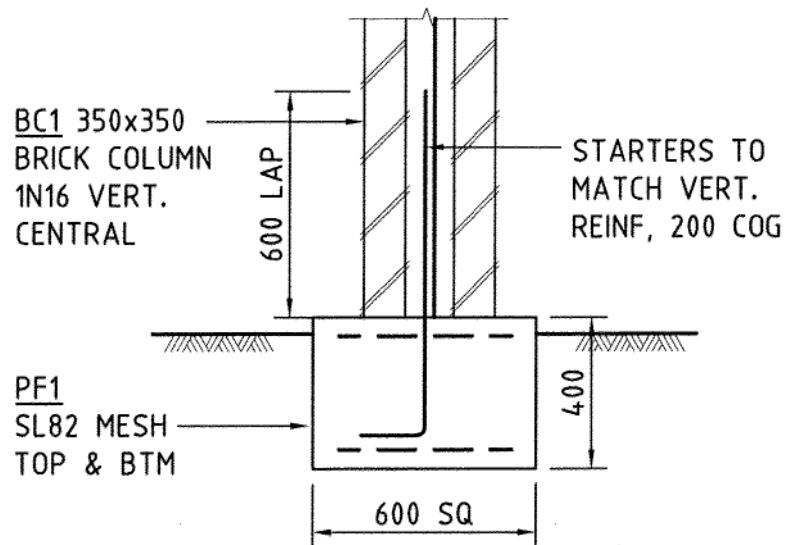
**C1 BASE PLATE DETAIL**

SCALE 1:10



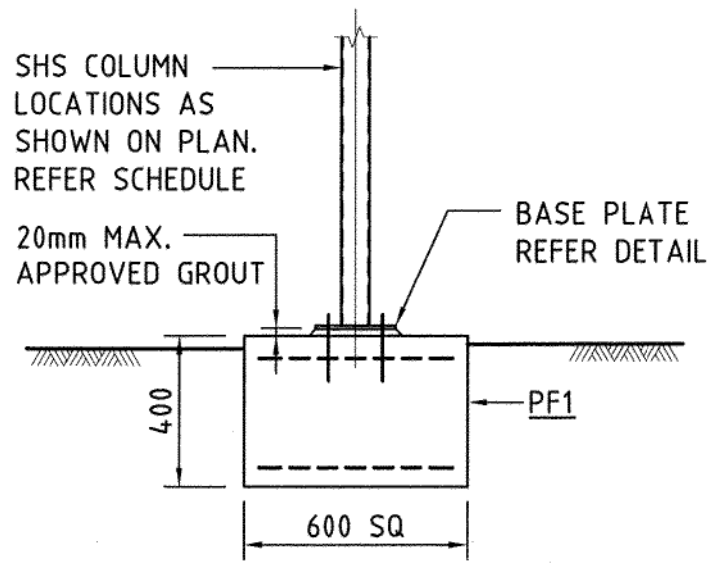
**C2 BASE PLATE DETAIL**

SCALE 1:10



**TYPICAL PAD FOOTING PF1 & BRICK COLUMN BC1 DETAIL**

SCALE 1:20



**SHS COLUMN BASE DETAIL**

SCALE 1:20

**LEGEND**

- C1 89x6.0 GR.C350 SHS COLUMN H.D.G - REFER DETAIL
- C2 89x6.0 GR.C350 SHS COLUMN H.D.G - REFER DETAIL
- BC1 350SQ BRICKWORK COLUMN - REFER DETAIL
- PF1 600SQ PAD FOOTING - REFER DETAIL

**STRUCTURAL STEELWORK**

1. FABRICATE AND ERECT ALL STRUCTURAL STEELWORK IN ACCORDANCE WITH AS 1554, AS 4100 AND AS 1252.
2. VERIFY ALL SETTING OUT DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS.
3. DO NOT OBTAIN DIMENSIONS BY SCALING THE STRUCTURAL ELEMENTS.
4. UNLESS OTHERWISE NOTED USE - 10 mm THICK GUSSET, FIN AND END PLATES. M16 8.8 / TF BOLTS, ALL HOT DIP GALV. BOLTS SO MARKED MAY BE 8.8/s 6mm CONTINUOUS FILLET WELD MADE WITH E 48 xx MILD STEEL ELECTRODES.
5. CPBW DENOTES COMPLETE PENETRATING BUTT WELD CFW DENOTES CONTINUOUS FILLET WELD ALL WELDS CATEGORY STRUCTURAL PURPOSE ( SP ) UNLESS NOTED OTHERWISE.
6. PROVIDE TEMPORARY BRACING AS TO STABILISE THE STRUCTURE.
7. CORROSION PROTECTION AND SURFACE FINISH IS TO BE AS AGREED WITH OWNER. - TOUCH UP AFTER ERECTION TYPICAL.
8. IF IN DOUBT ASK.
9. ALL EXPOSED STEELWORK TO BE HOT DIP GLAV

**BRICKWORK**

1. PROVIDE BRICK TIES IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3700 THE SAA MASONRY CODE. CORROSION RESISTANCE RATING FOR TIES TO BE R3.
2. PROVIDE ADDITIONAL TIES AT SLAB LEVEL TO RESIST LOADING FOR TC3 WIND CONDITIONS, 49 m/sec. BASIC DESIGN VELOCITY, NON - CYCLONIC.
3. MINIMUM COMPRESSIVE STRENGTH OF BRICKS ( F'm ) TO BE NOT LESS THAN 20 MPa.
4. PROPORTIONS OF MORTAR ARE TO BE SUCH THAT THE MORTAR STRENGTH IS EQUIVALENT TO OR BETTER THAN A 1 : 1 : 6 CEMENT - LIME - SAND MIX. MINIMUM CUBE STRENGTH TO BE 2.8 MPa.
5. PROVIDE SLIP JOINTS AND CONTROL JOINTS AT ENDS OF CONCRETE MEMBERS AS DETAILED.
6. DO NOT BUILD ANY BRICKWORK ON SLABS UNTIL PROPS ARE REMOVED OR PROVIDE JOINTS IN WALLS TO CATER FOR SLAB DEFLECTION.
7. ALL WORK TO BE IN ACCORDANCE WITH THE FOLLOWING AND OTHER RELEVANT CODES - AS 3700 - SAA MASONRY CODE. AS 1225 - CLAY BUILDING BRICKS. AS 1226 - METHODS OF SAMPLING AND TESTING CLAY BRICKS AS 1653 - CALCIUM SILICATE BRICKS. AS 2701 - MORTAR FOR MASONRY CONSTRUCTION.
8. PROVIDE FULL HEIGHT MASONRY ARTICULATION IN ACCORDANCE WITH THE CEMENT AND CONCRETE ASSOCIATIONS TECHNICAL NOTE NO. 61 "ARTICULATED WALLING"

**FOOTING DESIGN**

FOOTING DESIGN TO FOUND INTO SOUND NATURAL MATERIAL HAVING A MINIMUM ALLOWABLE BEARING PRESSURE OF 100KPa. CONFIRM ON SITE.

**DESIGN LOADS**

WIND - N3  
ROOF L.L - 0.25 kPa

**GENERAL**

1. CARRY OUT ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES.
2. VERIFY ALL SETTING OUT DIMENSIONS WITH THE ARCHITECT OR DESIGNER.
3. DO NOT OBTAIN DIMENSIONS BY SCALING THE STRUCTURAL ELEMENTS.
4. IN CASE OF DOUBT - ASK.

**CONCRETE**

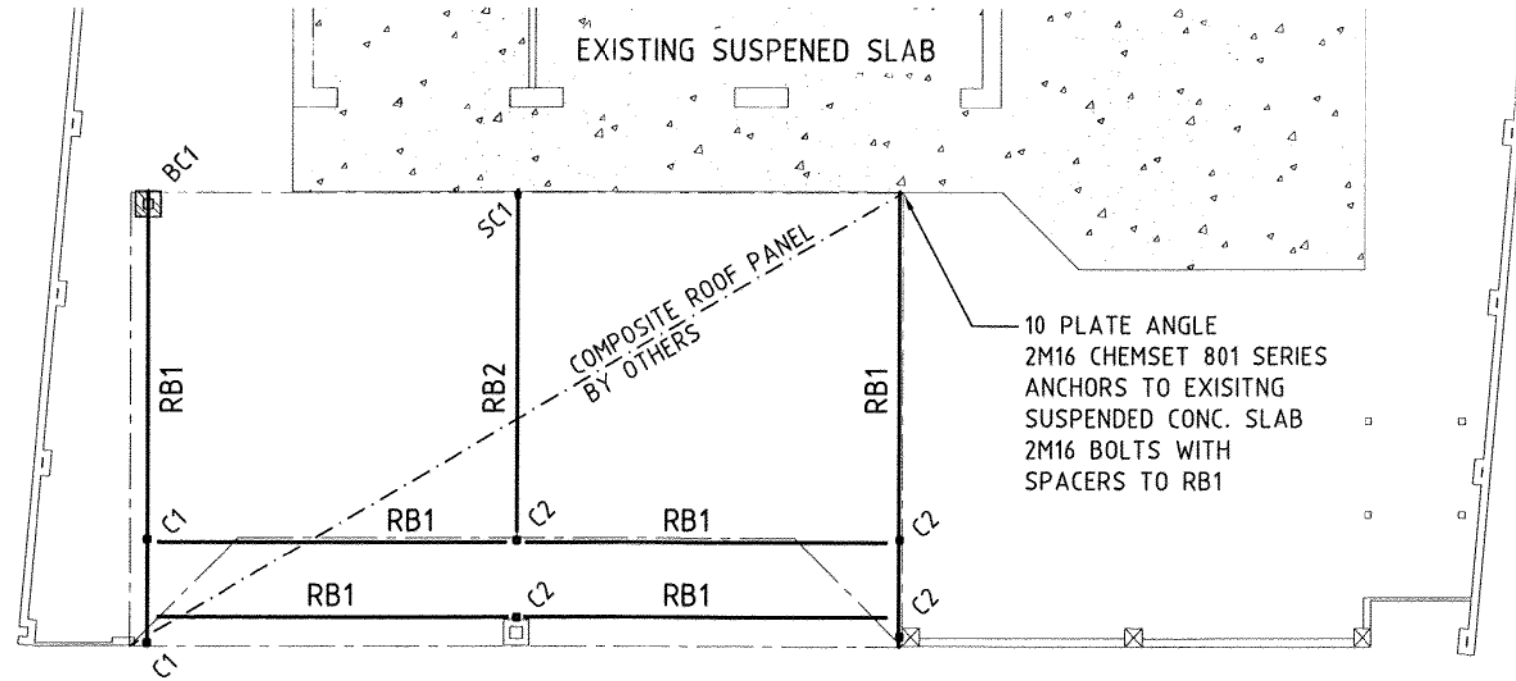
1. ALL CONCRETE WORK IS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF AS 3600.
2. PARTICULAR ATTENTION IS TO BE PAID TO THE CURING OF EXPOSED CONCRETE.
3. ALL CONCRETE IS TO BE VIBRATED.
4. SAMPLE AND TEST CONCRETE IN ACCORDANCE WITH AS 3600.
5. CONCRETE STRENGTHS TO BE AS LISTED BELOW:  
**FOOTINGS** - 20MPa  
6. SLUMP 70mm - MAX. AGGREGATE 20 mm.

**REINFORCEMENT**

1. FIX REINFORCEMENT AS SHOWN ON DRAWINGS. THE TYPE AND GRADE ARE INDICATED BY SYMBOLS SHOW BELOW FOLLOWED BY A NUMBER DENOTING THE BAR DIAMETER IN mm - N - DENOTES 500N BAR TO AS4671 S - DENOTES STRUCTURAL GRADE DEFORMED BAR R - DENOTES STRUCTURAL GRADE PLAIN ROUND BAR SL - DENOTES HARD DRAWN WIRE FABRIC.
2. LAPS IN REINFORCEMENT TO BE FULL TENSION LAPS EXCEPT AS OTHERWISE NOTED.
3. REINFORCEMENT TO BE ADEQUATELY CHAIRED TO MAINTAIN SPECIFIED COVERS - MAXIMUM CHAIR SPACING TO BE 800mm. PROVIDE ADDITIONAL SUPPORT BARS IF NECESSARY TO MAINTAIN COVERS.
4. SUPPORT BARROW RUNS AND PUMP LINES CLEAR OF REINFORCEMENT.
5. UNLESS NOTED OTHERWISE ON DRAWINGS, CONCRETE COVER TO REINFORCEMENT TO BE AS LISTED BELOW:  
**FOOTINGS** - 50 MIN. ALL AROUND

**Laurie OAR**  
**RPEQ 2011**  
*Laurie*

Revisions			
Client <b>SCOTT DOOHAN</b>			
Project <b>PROPOSED CARPORT AT 138 JEFFERSON LANE PALM BEACH, QLD</b>			
Subject <b>FOUNDATIONS PLAN &amp; DETAILS</b>			
Laurie OAR & ASSOCIATES PTY. LTD. CONSULTING CIVIL & STRUCTURAL ENGINEERS			
22 MARTIN STREET NERANG QLD 4211 l.oar@bigpond.com		A.B.N. 19 198 205 906 PH. (07) 5527 2288 FAX. (07) 5527 3388	
Date OCT. '18	Design L.O.	Drawn K.K.	Checked
JOB No. <b>18-548</b>		DRG. No. <b>01</b>	
SCALES AS SHOWN AT A3			



**LEGEND**

- C1 89x6.0 GR.C350 SHS COLUMN H.D.G - REFER DETAIL
- C2 89x6.0 GR.C350 SHS COLUMN H.D.G - REFER DETAIL
- SC1 75x4.0 GR.C350 SHS STUB COLUMN - REFER DETAIL
- BC1 350SQ BRICKWORK COLUMN - REFER DETAIL
- RB1 STRATCO 170 PRO-BEAM
- RB2 150x100x4.0 RHS ROOF BEAM

**TIMBER FRAMING LEGEND**

FOR TIMBER FRAMING MEMBERS NOT SHOWN ON THIS DRAWING REFER TO THE NATIONAL TIMBER FRAMING CODE AS1684

**TIMBER FRAMING**

1. TIMBER STRESS GRADES NOMINATED ARE MINIMUM ALLOWABLE VALUES.
2. TIMBER SUPPLIER IS TO PROVIDE CERTIFICATION THAT THE TIMBER SUPPLIED IS EQUAL TO OR GREATER THAN THE MINIMUM STRESS GRADE NOMINATED
3. GIRDER AND OTHER TRUSSES BY ROOF MANUFACTURER.
4. ALL LINTELS TO HAVE FULL WIDTH BEARING ON SUPPORTING PLATES OR BEAMS.
5. LOAD BEARING WALL STUDS U.N.O. REFER ARCHITECT'S DRAWINGS OR THE NATIONAL TIMBER FRAMING CODE AS 1684
6. EXTRA STUDS AT CONCENTRATED LOADS IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684
7. ALL NAILS, BOLTS, NUTS, SCREWS, WASHERS AND TIMBER PLATE FASTENERS TO BE HOT DIPPED GALVANISED.
8. FOR FRAMING MEMBERS NOT SHOWN ON THIS DRAWING REFER TO THE NATIONAL TIMBER FRAMING CODE AS 1684

**B** 4 kN TOTAL

WIND FORCE RESISTED BY  
 BRICKWORK COLUMN = 3.7kN  
 SHS POSTS = 5kN  
 TOTAL = 8.7kN

**A** NO ADDITIONAL LOAD

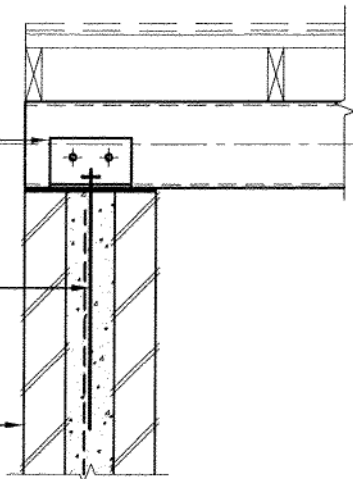
**ROOF FRAMING & BRACING PLAN**

SCALE 1:100

10 PLATE ANGLE  
2M12 BOLTS WITH  
SPACERS TO BEAM.

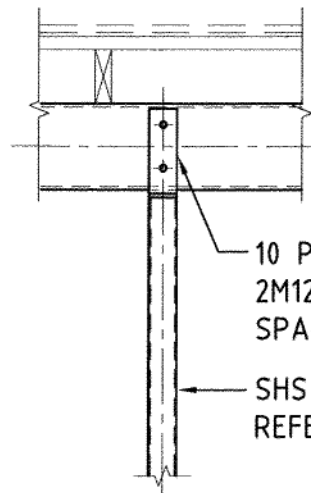
1M16 H.D. BOLT  
LAP 600 WITH  
PIER REINF.

BC1



**TYPICAL RB1 TO BC1 CONNECTION**

SCALE 1:20

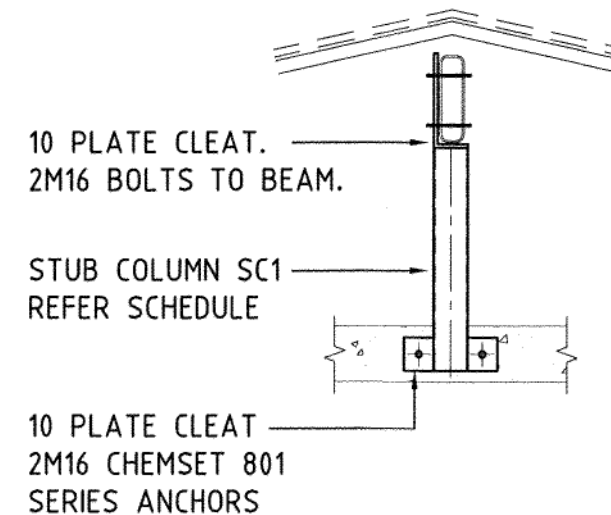


10 PLATE CLEAT.  
2M12 BOLTS WITH  
SPACERS TO BEAM

SHS COLUMN  
REFER PLAN

**TYPICAL RB1 TO SHS COL DETAIL.**

SCALE 1:20



10 PLATE CLEAT.  
2M16 BOLTS TO BEAM.

STUB COLUMN SC1  
REFER SCHEDULE

10 PLATE CLEAT  
2M16 CHEMSET 801  
SERIES ANCHORS

**STUB COLUMN SC1 DETAIL**

SCALE 1:20

*Laurie Oar*  
**LAURIE OAR**  
 RPEQ 2011

Revisions			
Client <b>SCOTT DOOHAN</b>			
Project <b>PROPOSED CARPORT AT 138 JEFFERSON LANE PALM BEACH, QLD</b>			
Subject <b>ROOF FRAMING &amp; BRACING PLAN AND DETAILS</b>			
LAURIE OAR & ASSOCIATES PTY. LTD. CONSULTING CIVIL & STRUCTURAL ENGINEERS			
22 MARTIN STREET NERANG QLD 4211 l.oar@bigpond.com		A.B.N. 19 198 205 906 PH. (07) 5527 2288 FAX. (07) 5527 3388	
Date OCT. '18	Design L.O.	Drawn K.K	Checked 
JOB No. <b>18-548</b>		DRG. No. <b>02</b>	
SCALES AS SHOWN AT A3		REV. Mk.	



Department of Housing and Public Works  
**Form 15—Compliance certificate  
 for building design or  
 specification**

Version 4 – July 2017

**NOTE:** This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

**RESTRICTION:** A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

**1. Property description**

This section need only be completed if details of street address and property description are applicable.  
 E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.  
 The description must identify all land the subject of the application.  
 The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.  
 If the plan is not registered by title, provide previous lot and plan details.

**Street address** (include no., street, suburb/locality and postcode)  
 138 Jefferson Lane, Palm Beach  
 Postcode 4221

**Lot and plan details** (attach list if necessary)

**In which local government area is the land situated?**  
 Gold Coast City Council

**2. Description of component/s certified**

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Footings, Wall Framing, Roof Framing, Roof Tie Down

**3. Basis of certification**

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS3600, AS1684, AS4100, AS1252, AS1554, AS1170

**4. Reference documentation**

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Drawing No. 18-548/01-02

**LOCAL GOVERNMENT USE ONLY**

Date received Reference Number/s

**5. Building certifier reference number**

Building certifier reference number

**6. Competent person details**

A competent person for building work means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

**7. Signature of competent person**

This certificate must be signed by the individual assessed by the building certifier as competent.

**Name** (in full)  
 Laurence James Oar

**Company name** (if applicable)  
 Laurie Oar & Associates Pty Ltd

**Contact person**  
 Laurie Oar

**Phone no.** (business hours) **Mobile no.** **Fax no.**  
 07 5527 2288

**Email address**  
 admin@oarengineers.com.au

**Postal address**  
 22 Martin Street, Nerang QLD  
 Postcode 4211

**Licence or registration number** (if applicable)  
 RPEQ 2011

**Signature** **Date**  
 [Signature] 6<sup>th</sup> November, 2018

The *Building Act 1975* is administered by the Department of Housing and Public Works